

BOARD OF COUNTY COMMISSIONERS SARPY COUNTY, NEBRASKA**RESOLUTION FLOOD PLAIN DEVELOPMENT****Ann and Brad Thrasher, 17318 Micky Drive, (Lot 1 Betty Lake Tri Lakes Addition Replat One)
Sarpy County, NE**

WHEREAS, pursuant to Neb. Rev. Stat. § 23-104 (Reissue 2012), the County has the power to do all acts in relation to the concerns of the County necessary to the exercise of its corporate powers; and,

WHEREAS, pursuant to Neb. Rev. Stat. § 23-103 (Reissue 2012), the powers of the County as a body are exercised by the County Board; and,

WHEREAS, the County Board of Commissioners has the authority to adopt a Zoning Regulation, which shall have the force and effect of law pursuant to Neb. Rev. Stat. § 23-114 (Reissue 2012); and,

WHEREAS, said Zoning Regulations require the County Board of Commissioners to approve applications for development permits within any Flood Plain District; and

WHEREAS, Ann and Brad Thrasher applied for a Flood Plain Development Permit in order to replace deteriorating siding and to construct a new pitched roof on an existing 744 square foot structure which will extend over a new concrete patio area on the property legally described in the attached Exhibit A; and,

WHEREAS, the Sarpy County Planning Department staff reviewed Ann and Brad Thrasher's application for a Flood Plain Development Permit for compliance with the Zoning Regulations on the property legally described in the attached Exhibit A; and,

WHEREAS, the construction is approximately \$9,076 and the estimated value of the structure is \$18,600, based on the 2012 Building Valuation Data of \$25 per square foot, thus the project is not considered a substantial improvement under Section 30 of the Sarpy County Zoning Regulations; and,

WHEREAS, said application is in compliance with Section 30, Flood Plain District of the Zoning Regulations and further, the Natural Resources District has no objection to the development permit; and,

WHEREAS, the Planning Department staff made a recommendation of approval as noted in the attached Exhibit A, which Exhibit A includes the Planning Department report, the Natural Resources District comments, and the site plan of the subject property.

NOW, THEREFORE, BE IT RESOLVED BY THE SARPY COUNTY BOARD OF COMMISSIONERS THAT the Flood Plain Development Permit Application for the property legally described in the attached Exhibit A is hereby approved subject to the following conditions:

1. Flood vents in compliance with the Flood Plain Regulations will need to be installed and verified by elevation certificate prior to final inspection.
2. The proposed improvements must be built according to the plans submitted in the application documents.

The above Resolution was approved by a vote of the Sarpy County Board of Commissioners at a public meeting duly held in accordance with applicable law on the 10th day of December 2013.


Sarpy County Board Chairman

Attest
SEAL

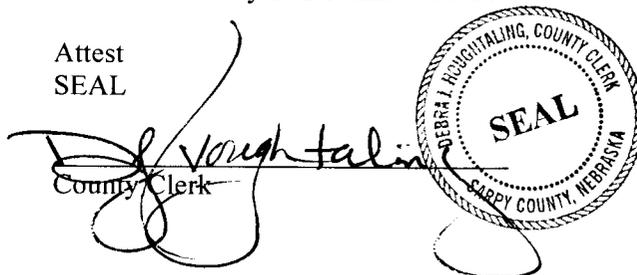

County Clerk



EXHIBIT A

Planning Department Report
Thrasher Floodplain Development Permit Application (FDP 13-0029)
County Board Date: December 10, 2013

Subject	Type	Prepared By
Floodplain Development Permit for the construction of a new pitched roof on an existing 744 square foot structure that is proposed to extend over a new concrete patio area and replace the deteriorating siding at 17318 Micky Drive, Bellevue, NE 68005 (Lot 1 Betty Lake Tri Lakes Addition Replat One)	Resolution	Donna Lynam, Zoning Administrator Planning & Building Dept.

➤ **Application Overview**

- The property owner is requesting approval to replace an existing roof with a pitched roof that will extend over a proposed concrete patio area and to replace the deteriorating siding 17318 Micky Drive, Bellevue, NE 68005 in the Betty Lake area.

➤ **Comprehensive Development Plan**

- The Sarpy County Development Structure Plan (Future Land Use Map) indicates this area as Urban Residential.

➤ **Zoning / Floodplain Regulations**

- The area is zoned RD-50 FP (Two Family Residential District - Floodplain)
- The property is located in an AE Flood Zone in the Betty Lake area which requires a Floodplain Development Permit for any building construction (see attached map).
- The BFE (Base Flood Elevation) submitted by the applicant for this location is 978.9 feet (NGVD 1929).
- The existing structure was built in the 1970's and is not elevated to at least 1 foot above the BFE.
- The proposed construction is considered to be the repair/maintenance and remodel of an existing structure with the addition of a covered concrete patio.
- The estimated cost of construction is \$9,076 and the estimated value of the structure is \$18,600 based on the 2012 Building Valuation Data of \$25 per square foot. Therefore, it is not considered to be a substantial improvement (defined as being 50% or more of the market value of the structure) which would require the entire structure to come into compliance with the floodplain regulations and be elevated to 1 foot above the BFE.
- Flood vents, as required by the Flood Plain Regulations, will need to be installed and verified by the elevation certificate prior to final inspection.
- This request as proposed is in conformance with the Sarpy County Floodplain and Zoning Regulations.

➤ **Natural Resources District**

- The Papio-Missouri River Natural Resources District (NRD) has no objections to the proposed application. The NRD comment letter is attached.

➤ **Recommendation**

- For the reasons stated above, staff recommends the Floodplain Development Permit be approved for the replacement of an existing roof with a pitched roof that will extend over a proposed concrete patio area and the replacement of deteriorating siding with proper installation and certification of flood vents at this location.

December 4, 2013

Bruce Fountain, Director
Sarpy County Planning Department
1210 Golden Gate Drive
Papillion, NE 68046



RE: 17318 Mickey Drive Application for Flood Plain Development Permit

Dear Mr. Fountain:

The District received information concerning the proposed re-roofing and residing of an existing detached garage at 17318 Mickey Drive in Betty's Lake in Bellevue, Nebraska. According to the Flood Insurance Rate Map for Sarpy County, Panel 31153C 0205 G, effective December 2, 2005, this property is located in the Zone AE floodplain of the Platte River. The base flood elevation (BFE) determined at this location is approximately 979.0 feet (NAVD 1988).

The District has the following comments based on review of the floodplain development permit application:

- This application is for the replacement of a roof and siding on an existing detached garage. The roof will be extended to create an awning over a concrete slab. No other construction will be completed as part of this application.
- Sarpy County has determined the proposed project is not considered a substantial improvement.

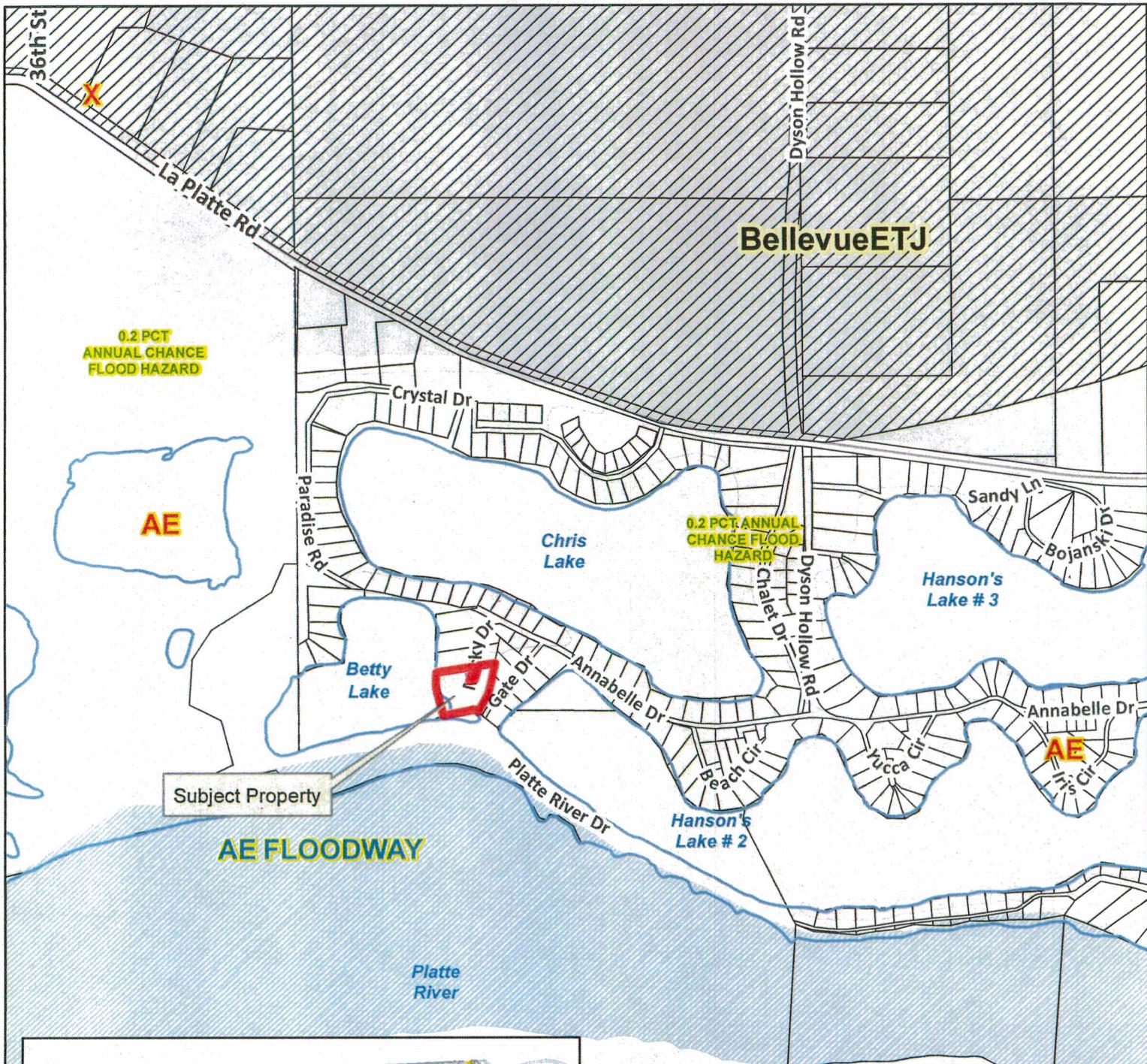
The District has no objections to this application. If you have any questions or concerns, please contact me at (402) 444-6222 or at llaster@papionrd.org.

Sincerely,

A handwritten signature in black ink, appearing to read 'L. Laster', with a large, stylized flourish at the end.

Lori Ann Laster, CFM
Stormwater Management Engineer

Cc: Marlin Petermann, Amanda Grint, P-MRNRD

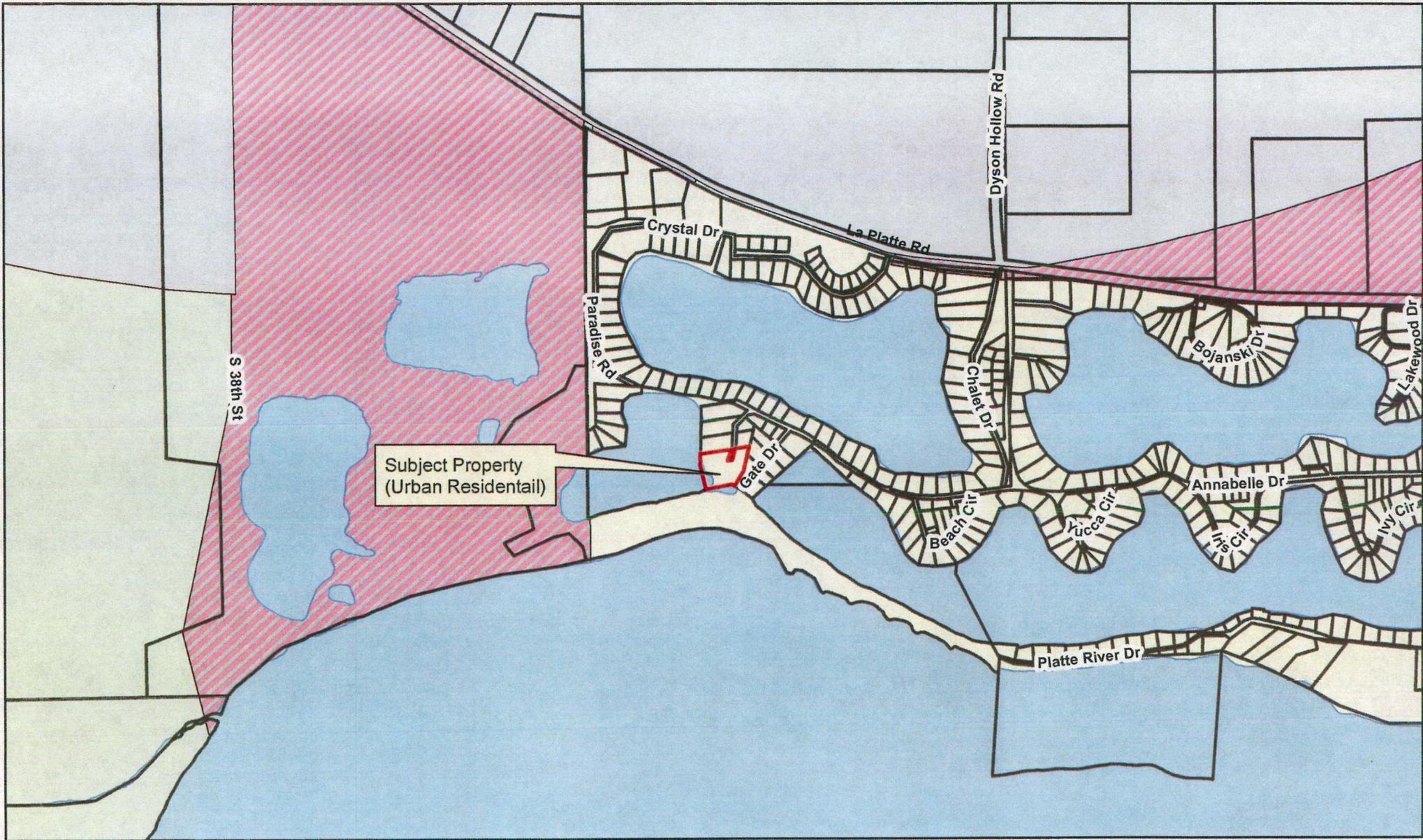


Legend	
	0.2 PCT ANNUAL CHANCE FLOOD HAZARD,
	1 PCT FUTURE CONDITIONS,
	A,
	AE,
	AE, FLOODWAY
	AH,
	AO,
	AREA NOT INCLUDED,
	X PROTECTED BY LEVEE,
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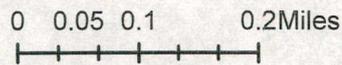
Vicinity Map - Flood Zones

17318 Micky Dr - Lot 1 Betty Lake Tri Lakes Addition Replat One
 Thrasher Flood Plain Development Permit





Current FLU - Sarpy Co



Thrasher - Flood Plain Development Permit

Comprehensive Development Plan
Figure 5.1: Development Structure Plan
 Sarpy County, Nebraska

Legend

- | | | |
|--------------------------|---------------------------------|-----------------------|
| Highway Corridor Overlay | Long Term Residential Growth | Cross County Arterial |
| Land Use Proposed | Mixed Use | City Limit |
| Bellevue Future Growth | Mixed Use Center | City ETJ |
| Business Park | New Richfield Village | |
| Civic | Park/School Site | |
| Conservation Residential | Pflug Interchange Development | |
| Estate Residential | Residential - Community Systems | |
| Greenway | Urban Residential | |
| Industrial | Urban Residential II | |
| Light Industrial/Storage | | |



Sarpy County Planning & Building Department

Bruce Fountain, AICP, EDFP – Director
Phone: (402)593-1555 Fax: (402) 593-1558

MEMO

Date: November 21, 2013

From: Donna Lynam, Zoning Administrator
Sarpy County Planning and Building Department

Regarding: Flood Plain Development Permit
Brad and Ann Thrasher
17318 Micky Drive
Lot 1 Betty Lake Tri Lakes Addition Replat One

A Flood Plain Development Permit has been submitted for the above property located in an AE Flood Zone with a Base Flood Elevation of 978.9 feet (NGVD 1988).

The request is for the approval to replace the roof with a pitched roof structure that will extend over a proposed 9 x 24 concrete patio and replace the siding that is deteriorating on an existing 744 square foot detached garage structure.

The owner has indicated that the market value of the structure is \$22,539 (\$30 per square foot) and a cost estimate of \$9,076 to complete the proposed work. Pursuant to the 2012 Building Valuation Data Table recently adopted by the Sarpy County Planning and Building Department, this type of structure would be calculated to have a \$25 per square foot estimated cost construction therefore giving a market valuation of \$18,600.

Based on the above calculations, the proposed project would be less than 50% of the market value of the structure and therefore would not need to be elevated, although any utilities such as electrical would need to be elevated to one foot above the BFE. Flood vents will be required to be installed per Flood Plain Regulations and be verified by elevation certificate prior to final inspection.

Items submitted by applicant:

- Application with applicable fees
- Valuation and Cost Estimate calculations
- As-built survey
- Photos



SARPY COUNTY PLANNING & BUILDING DEPT.

1210 GOLDEN GATE DRIVE, #1240
PAPILLION, NE 68046
PHONE: 402-593-1555 FAX: 402-593-1558
E-MAIL: PLANNING@SARPY.COM

FLOODPLAIN DEVELOPMENT PERMIT APPLICATION

In order for your application to be considered **COMPLETE**, please answer all applicable questions and provide the following:

1. Completed Floodplain Development Permit Application
2. Non-refundable fee of \$_____ made payable to Sarpy County
3. Two (2) full size site/construction plan drawings
4. Two (2) reduced size site/construction plan drawings (8.5 x 11)
5. One (1) electronic copy of the site/construction plan drawings in PDF form
6. A completed FEMA National Flood Insurance Program (NFIP) Elevation Certificate certified, signed and sealed by land surveyor, engineer, or architect authorized by law to certify elevation information.

APPLICATION FILING FEES – see Sarpy County Master Fee Schedule for the Planning and Building Department

PLANNING STAFF USE ONLY: *FPD 13-0029*

APPLICATION #: *09-18-13PC1:36 RCVD*

DATE RECEIVED: _____

APPLICATION FEE: *\$100* RECEIPT NO. *922484*

RECEIVED BY: *DL*

NOTES: _____

RECOMMENDATIONS:

PLANNING & BUILDING DEPT: APPROVAL DENIAL

SARPY COUNTY BOARD: APPROVAL DENIAL

RESOLUTION #: _____ DATE: _____

PROPERTY OWNER INFORMATION: (If multiple owners, please attach separate sheet)

NAME: *Ana + Brad Thresher* E-MAIL: *doodedoo@doodedoo.com*

ADDRESS: *17318 Mickey Dr.* CITY/STATE/ZIP: *Bellevue NE 68123*

MAILING ADDRESS: _____ (IF DIFFERENT) CITY/STATE/ZIP: _____

PHONE: *402-291-2327* FAX: _____

ENGINEERING/SURVEYING OR OTHER CONSULTING PROFESSIONAL'S INFORMATION:

NAME: _____ E-MAIL: _____

ADDRESS: _____ CITY/STATE/ZIP: _____

MAILING ADDRESS: _____ (IF DIFFERENT) CITY/STATE/ZIP: _____

PHONE: _____ FAX: _____

CONSTRUCTION INFORMATION: (This individual/company is responsible for meeting building code regulations.)

NAME: *Trent Marshall* E-MAIL: _____

ADDRESS: *tentative* CITY/STATE/ZIP: _____

MAILING ADDRESS: _____ (IF DIFFERENT) CITY/STATE/ZIP: _____

PHONE: _____ FAX: _____

PROJECT DESCRIPTION: Describe the project in detail, including physical features of the site, proposed improvements, proposed uses or business, operating hours, number of employees, anticipated customers, etc. - Attach additional sheets if necessary.

PLEASE NOTE: A detailed project description is essential to the reviewing process of this request.

Residing + roofing of existing detached 2 car garage. We want to repitch the roof + extend one side of the roof to cover an additional concrete pad. See pictures + drawing

PROJECT SITE INFORMATION: Complete each section in its entirety. If a question is not applicable to your project, please indicate this to show that each question has been carefully considered.

PROPERTY ADDRESS: 17318 Mickey Dr.

ASSESSOR'S PARCEL NUMBER: _____ **ADDITIONAL PARCEL NUMBERS** _____

GENERAL LOCATION: Chris + Hanson Lakes 25th + LaPlatte Rd
(example 189th & Giles Rd - include subdivision name)

LEGAL DESCRIPTION: *(Describe property to wit:)* Lot 1 Betty Lake Tri Lakes Addition Rep One

SIZE OF PROPERTY: _____ *acres/sq. ft.* **CURRENT ZONING:** RD-50 FP

NAME OF ADJACENT WATERWAY: Platte River

PROPERTY LIES WITHIN: **FLOODWAY:** _____ **FLOOD FRINGE:** X **FLOOD ZONE DESIGNATION:** AE

LOWEST FLOOR ELEVATION IS TO BE _____ **FEET ABOVE MEAN SEA LEVEL.** *(Including Basement)*

SOURCE OF UTILITY SERVICES: **Water -** _____ **Sewer -** _____
Gas - _____ **Electric -** _____

ADDITIONAL INFORMATION: *Please use this space to provide any other information you feel is appropriate for Sarpy County to consider during review of your application. Attach extra sheets if necessary.*

BFE 978-4 UGVD1929

PLEASE NOTE THE FOLLOWING PROCEDURES:

1. The Planning Department will review the application material along with other appropriate departments and/or agencies and provide a recommendation report to the County Board.
2. County Board will hold a public hearing and make a final decision on the Floodplain Development Permit.
3. **Prior to the final building inspection a Finished Construction Elevation Certificate or other verification will be required to be submitted to the Planning & Building Department to assure compliance with the Floodplain Development Permit.**

The applicant (or authorized agent) has prepared this application and certifies that the facts stated herein and exhibits attached hereto are true and correct.

[Signature]
Applicant Signature

9-18-13
Date

I, the undersigned, understand the Floodplain Development Permit process as stated above and I authorize Sarpy County staff to enter the property for inspection related to the specific request during this process.

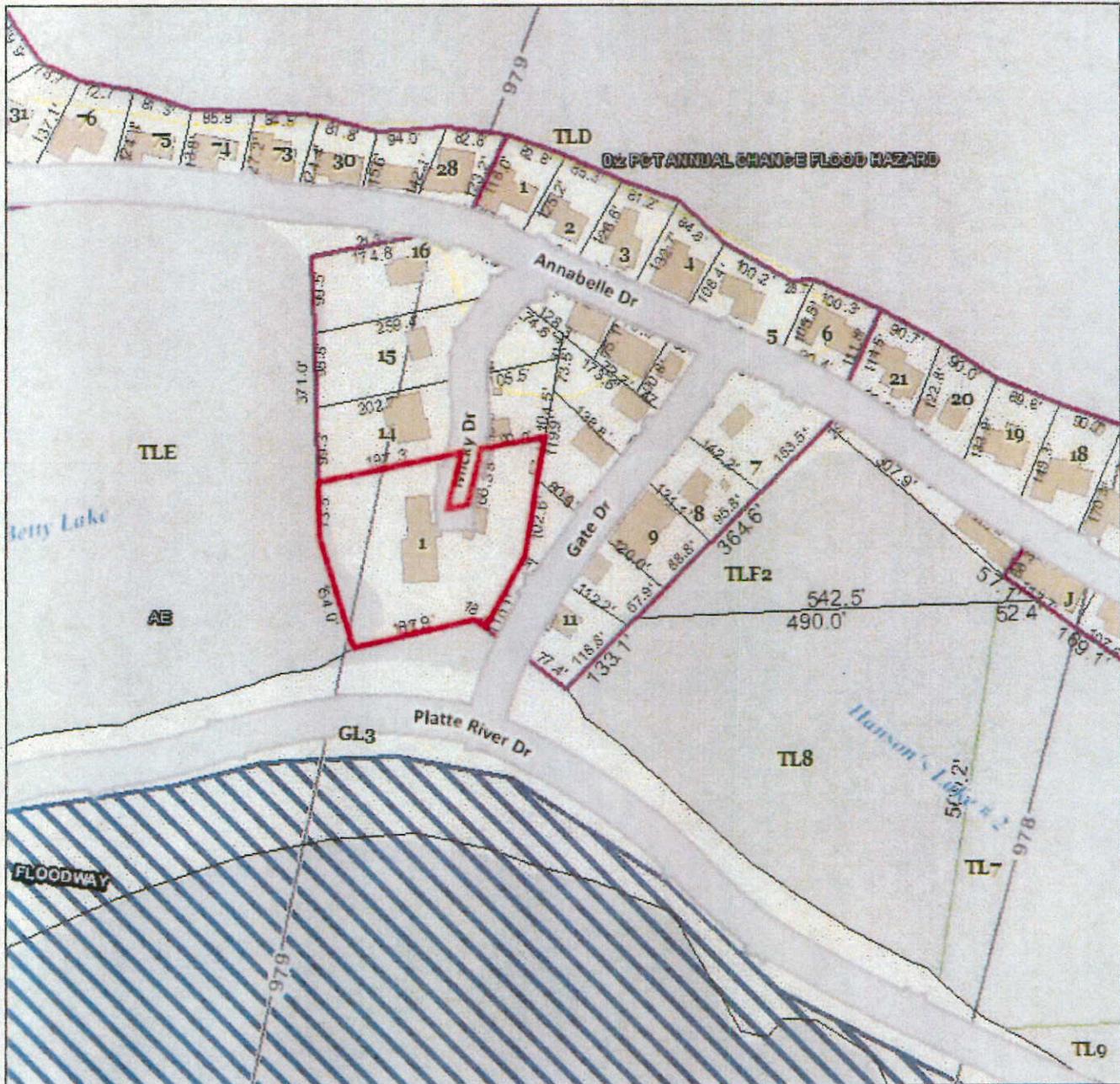
[Signature]
Owner Signature (or authorized agent)

9-18-13
Date

Owner Signature (or authorized agent)

Date

Sarpy County, Nebraska



Parcel ID Number	011582803	Property Type	RES
Owner Name	THRASHER, BRADLEY A	Improvements Value	\$375,929
Mailing Address	17318 MICKY DR	Land Value	\$75,000
City State	BELLEVUE NE	Total Value	\$450,929
Zip Code	68123-0000	Estimated Acres	1.33200880
Property Address	17318 MICKY DR	Tax District	46023
Legal Description	LOT 1 BETTY LAKE TRI LAKES ADDITION REPLAT ONE	Snow Ordinance	County #3-1-01
Neighborhood Code	RCB1		

Disclaimer: This data is for informational purposes only, and should not be substituted for a true titles search, property appraisal, survey, or for zoning district verification. Sarpy County and the Sarpy County GIS Coalition assume no legal responsibility for the information contained in this data.

Map Scale
1 inch = 200 feet

11/21/2013

Donna Lynam

From: annschwabe@gmail.com on behalf of Ann Thrasher <AnnThrasher@Doodedoo.com>
Sent: Thursday, October 17, 2013 10:19 AM
To: Donna Lynam
Subject: Garage Estimate

Hi Donna,

Sorry it has taken me so long to get this to you. We used a neighbor's garage to help us estimate the value of our garage and my husband estimated the cost of the rework. Hope this helps. If you have any questions, please call me at 402-291-2327.

Thanks,
Ann Thrasher

Estimate - Thrasher Garage

Labor	Quantity	Cost	Total
Demo: Siding, Trim & Overhang	12.00	\$55.00	\$660.00
Install New Treated & Hardiplank Siding	26.00	\$30.00	\$780.00
New Asphalt Roofing installation to match House	9.50	\$80.00	\$760.00
Dump/Hauling	1.00	\$155.00	\$155.00
Painting - Sides & Trim	11.00	\$55.00	\$605.00
Materials			
Fiber Cement Siding to match house	96.00	\$4.99	\$479.04
40' 4/12 roof trusses	18.00	\$115.00	\$2,070.00
9' x24' Concrete Patio - South Side	216.00	\$4.50	\$972.00
Treated 4'x8'x7/16" Plywood Sheathing	29.00	\$24.99	\$724.71
Misc. Materials	1.00	\$1,871.00	\$1,871.00
Total - Materials and labor			\$9,071.75

Neighbor's Garage at 17309 Gate Drive is valued at \$37,808 for the building and \$10,674 for the land it sits on. It is 1248 square feet, making the value \$30/sq ft.

Our garage is 24 by 31, or 744 sq ft. so extrapolate the value of our garage:

Value of our garage (from \$37,808/1248 equals \$30/sq ft) for a total of \$22,539 for Thrasher garage

- * Repair + Replace existing damaged framing w/ Treated Lumber
- * Remove exterior siding + Replace w/ Treated Plywood Sheathing + Hand plank siding
- * Remove existing stick framed ~~rafters~~ rafters + Replace w/ Engineered Trusses
- * Replace Windows

Note: We have had no flooding in or near this area in the past,

