

BOARD OF COUNTY COMMISSIONERS SARPY COUNTY, NEBRASKARESOLUTION FLOOD PLAIN DEVELOPMENTRon and Diane Wink, 17305 Yucca Circle (Lot 125 Hanson's Lakes), Sarpy County, NE

WHEREAS, pursuant to Neb. Rev. Stat. § 23-104 (Reissue 2012), the County has the power to do all acts in relation to the concerns of the County necessary to the exercise of its corporate powers; and,

WHEREAS, pursuant to Neb. Rev. Stat. § 23-103 (Reissue 2012), the powers of the County as a body are exercised by the County Board; and,

WHEREAS, the County Board of Commissioners has the authority to adopt a Zoning Regulation, which shall have the force and effect of law pursuant to Neb. Rev. Stat. § 23-114 (Reissue 2012); and,

WHEREAS, said Zoning Regulations require the County Board of Commissioners to approve applications for development permits within any Flood Plain District; and

WHEREAS, Ron and Diane Wink applied for a Flood Plain Development Permit in order to construct a 508 square foot addition with a 48" crawl space foundation to an existing residential structure on the property legally described in the attached Exhibit A; and,

WHEREAS, the Sarpy County Planning Department staff reviewed Ron and Diane Wink's application for a Flood Plain Development Permit for compliance with the Zoning Regulations on the property legally described in the attached Exhibit A; and,

WHEREAS, said application is in compliance with Section 30, Flood Plain District of the Zoning Regulations and further, the Natural Resources District has no objection to the development permit; and,

WHEREAS, the Planning Department staff made a recommendation of approval as noted in the attached Exhibit A, which Exhibit A includes the Planning Department report, the Natural Resources District comments, the elevation certificate, and the site plan of the subject property.

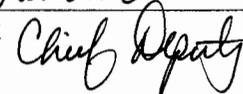
NOW, THEREFORE, BE IT RESOLVED BY THE SARPY COUNTY BOARD OF COMMISSIONERS THAT the Flood Plain Development Permit Application for the property legally described in the attached Exhibit A is hereby approved subject to the following conditions:

1. A minimum of two flood openings on two separate walls are required for all enclosed areas below the base flood elevation (including the existing area). Each flood opening is required to have a minimum opening area of 1 square inch per square foot of enclosed space.
2. The applicant must submit an elevation certificate upon completion of the project to ensure that the project is built according to the proposed plans and permit requirements.
3. The new construction must meet the minimum setback and zoning requirements at the time of the building permit application.

The above Resolution was approved by a vote of the Sarpy County Board of Commissioners at a public meeting duly held in accordance with applicable law on the 26<sup>th</sup> day of November, 2013.

Attest  
SEAL

  
Sarpy County Board Chairman

  
County Clerk  




## EXHIBIT A

### Planning Department Report Wink Floodplain Development Permit Application (FDP 13-0026) County Board Date: November 26, 2013

| Subject  | Type       | Prepared By  |
|--|------------|--|
| Floodplain Development Permit to construct a 508 sq foot addition on an existing single-family residence 17305 Yucca Circle, (Lot 125, Hanson's Lakes) | Resolution | Donna Lynam<br>Zoning Administrator<br>Planning & Building Dept. |

#### ➤ Application Overview

- This is a request for the approval of a floodplain development permit (FDP) for the site legally described as Lot 125, Hanson's Lake (17305 Yucca Circle, Bellevue, NE). The FDP application is for construction of a 508 square foot addition with a 48" crawl space foundation to an existing residential structure.
- The lowest floor elevation (sand bottom crawl space) is 973.8 (NAVD 1988) and the next higher floor is at 977.8 feet (NAVD 1988) which is at least one foot above the Base Flood Elevation (BFE) and the proposed addition will be at the same elevation as the existing structure.

#### ➤ Comprehensive Development Plan

- The Sarpy County Comprehensive Plan (Development Structure Plan – Figure 5.1) indicates this area as Urban Residential.

#### ➤ Zoning / Floodplain Regulations

- The area is zoned RD-50 FP (Two-Family Residential District – Flood Plain)
- The property is located in an AE Floodplain Zone adjacent to Hanson's Lake. (see attached map).
- The BFE (Base Flood Elevation) determined at this location is 976.6 feet (NAVD 1988).
- According to the elevation certificate provided, the proposed addition's finished floor elevation will be 977.8 feet (NAVD 1988) which is above the BFE and the elevation of the bottom floor (crawl space) will be at 973.8 feet (NAVD 1988).
- Flood openings will be required for all enclosed areas below the BFE (including the existing area). There should be a minimum of two openings on two separate walls with a minimum opening area of 1 square inch per square foot of enclosed space.
- The applicant must submit an elevation certificate upon completion of the project to ensure that the structure is built according to plans and permit requirements
- The new construction must meet the minimum setback and zoning requirements at the time of building permit application.
- The request as submitted is in conformance with the Sarpy County Floodplain regulations.

#### ➤ Natural Resources District

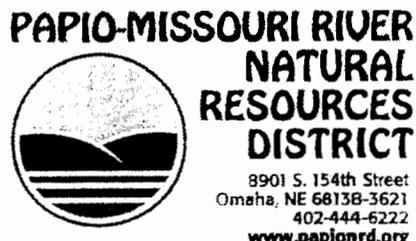
- The Papio Missouri River Natural Resources District (NRD) has no objections to the proposed project construction provided it meets the conditions outlined above and in their letter attached.

#### ➤ Recommendation

- For the reasons stated above, staff recommends the permit be approved for the addition of 508 square feet of finish living space with 48 inch crawl space foundation to the existing residential structure at this location.

November 20, 2013

Bruce Fountain, Director  
Sarpy County Planning Department  
1210 Golden Gate Drive  
Papillion, NE 68046



RE: 17305 Yucca Circle Application for Flood Plain Development Permit

Dear Mr. Fountain:

The District received information concerning the proposed addition to an existing residence at 17305 Yucca Circle in Hanson's Lake in Bellevue, Nebraska. According to the Flood Insurance Rate Map for Sarpy County, Panel 31153C 0205 G, effective December 2, 2005, this property is located in the Zone AE floodplain of the Platte River. The base flood elevation (BFE) determined at this location is approximately 976.6 feet (NAVD 1988).

The District has the following comments based on review of the floodplain development permit application, the construction plans prepared by Jeck & Company Builders, dated September 11, 2013, and an elevation certificate prepared by David H. Neef, RLS dated November 18, 2013:

- The lowest floor elevation is the crawl space and is at an elevation of 973.8 feet (NAVD 1988). The next highest floor elevation is 977.8 feet (NAVD 1988) which is at least one foot above the BFE.
- As shown on the plans, the addition will be built to match the existing structure elevations.
- The elevation certificate does not indicate there are flood openings in the current structure and they are not shown on the plans for the addition. Flood openings are required for enclosed areas below the BFE. There should be a minimum of two openings on two separate walls with a minimum opening area of 1 square inch per square foot of enclosed space.
- The applicant should submit a revised elevation certificate upon completion of construction to ensure that the addition was built according to the approved plans.

The District has no objections to this project provided flood openings are installed with the addition. If you have any questions or concerns, please contact me at (402) 444-6222 or at [llaster@papionrd.org](mailto:llaster@papionrd.org).

Sincerely,

Lori Ann Laster, CFM  
Stormwater Management Engineer

Cc: Marlin Petermann, Amanda Grint, P-MRNRD



# SARPY COUNTY PLANNING & BUILDING DEPT.

1210 GOLDEN GATE DRIVE, #1240  
PAPILLION, NE 68046  
PHONE: 402-593-1555 FAX: 402-593-1558  
E-MAIL: [PLANNING@SARPY.COM](mailto:PLANNING@SARPY.COM)

## FLOODPLAIN DEVELOPMENT PERMIT APPLICATION

In order for your application to be considered **COMPLETE**, please answer all applicable questions and provide the following:

1. Completed Floodplain Development Permit Application
2. Non-refundable fee of \$300 made payable to Sarpy County
3. Two (2) full size site/construction plan drawings
4. Two (2) reduced size site/construction plan drawings (8.5 x 11)
5. One (1) electronic copy of the site/construction plan drawings in PDF form
6. A completed FEMA National Flood Insurance Program (NFIP) Elevation Certificate certified, signed and sealed by land surveyor, engineer, or architect authorized by law to certify elevation information.

**APPLICATION FILING FEES** – see Sarpy County Master Fee Schedule for the Planning and Building Department

### PLANNING STAFF USE ONLY:

APPLICATION #: FPD 13-0026  
DATE RECEIVED: \_\_\_\_\_  
APPLICATION FEE: \$300 RECEIPT NO. 2013  
RECEIVED BY: Risa Smith  
NOTES: \_\_\_\_\_

### RECOMMENDATIONS:

PLANNING & BUILDING DEPT:  APPROVAL  DENIAL  
SARPY COUNTY BOARD:  APPROVAL  DENIAL  
RESOLUTION #: \_\_\_\_\_ DATE: \_\_\_\_\_

### PROPERTY OWNER INFORMATION: (If multiple owners, please attach separate sheet)

NAME: Ron + Diane Wink E-MAIL: ronwink50@msn.com  
ADDRESS: 17305 Yucca Circle CITY/STATE/ZIP: Bellevue, NE 68123  
MAILING ADDRESS: \_\_\_\_\_ CITY/STATE/ZIP: \_\_\_\_\_  
(IF DIFFERENT)  
PHONE: 402-292-1012 FAX: \_\_\_\_\_

### ENGINEERING/SURVEYING OR OTHER CONSULTING PROFESSIONAL'S INFORMATION:

NAME: Carrell Associates E-MAIL: carrell@rls306.com@coxmail.com  
ADDRESS: 6640 So. 91st St. CITY/STATE/ZIP: Omaha, NE 68127  
MAILING ADDRESS: \_\_\_\_\_ CITY/STATE/ZIP: \_\_\_\_\_  
(IF DIFFERENT)  
PHONE: 402-331-2333 FAX: \_\_\_\_\_

### CONSTRUCTION INFORMATION: (This individual/company is responsible for meeting building code regulations.)

NAME: Jeck + Company, Inc. E-MAIL: rod@jeckandcompany.com  
ADDRESS: 14108 Capehart Rd. CITY/STATE/ZIP: Springfield, NE 68059  
MAILING ADDRESS: \_\_\_\_\_ CITY/STATE/ZIP: \_\_\_\_\_  
(IF DIFFERENT)  
PHONE: 402-597-8828 FAX: 402-331-7064

**PROJECT DESCRIPTION:** Describe the project in detail, including physical features of the site, proposed improvements, proposed uses or business, operating hours, number of employees, anticipated customers, etc. – Attach additional sheets if necessary.

**PLEASE NOTE:** A detailed project description is essential to the reviewing process of this request.

10'x31'-8" Room Addition to be placed on the north side of existing home. 507 Finished SQ. FT.

**PROJECT SITE INFORMATION:** Complete each section in its entirety. If a question is not applicable to your project, please indicate this to show that each question has been carefully considered.

PROPERTY ADDRESS: 17305 Yucca Circle

ASSESSOR'S PARCEL NUMBER: 010752455 ADDITIONAL PARCEL NUMBERS \_\_\_\_\_

GENERAL LOCATION: 27<sup>th</sup> + LaPlatte Rd Hanson's Lake  
(example 189<sup>th</sup> & Giles Rd – include subdivision name)

LEGAL DESCRIPTION: (Describe property to wit:) Lot 125, Hanson's Lake, as surveyed, platted and recorded in Sarpy County, Nebraska

SIZE OF PROPERTY: 14,921 acres/sq. ft. CURRENT ZONING: RD-50/FP

NAME OF ADJACENT WATERWAY: Platte River

PROPERTY LIES WITHIN: FLOODWAY:  FLOOD FRINGE:  FLOOD ZONE DESIGNATION: AE Zone

LOWEST FLOOR ELEVATION IS TO BE \_\_\_\_\_ FEET ABOVE MEAN SEA LEVEL. (Including Basement)

SOURCE OF UTILITY SERVICES: Water - Well - Private Sewer - SID #101  
Gas - Propane Electric - OPPD

**ADDITIONAL INFORMATION:** Please use this space to provide any other information you feel is appropriate for Sarpy County to consider during review of your application. Attach extra sheets if necessary.

**PLEASE NOTE THE FOLLOWING PROCEDURES:**

1. The Planning Department will review the application material along with other appropriate departments and/or agencies and provide a recommendation report to the County Board.
2. County Board will hold a public hearing and make a final decision on the Floodplain Development Permit.
3. Prior to the final building inspection a Finished Construction Elevation Certificate or other verification will be required to be submitted to the Planning & Building Department to assure compliance with the Floodplain Development Permit.

The applicant (or authorized agent) has prepared this application and certifies that the facts stated herein and exhibits attached hereto are true and correct.

[Signature]  
Applicant Signature

Oct. 25, 2013  
Date

I, the undersigned, understand the Floodplain Development Permit process as stated above and I authorize Sarpy County staff to enter the property for inspection related to the specific request during this process.

[Signature]  
Owner Signature (or authorized agent)

10/28/2013  
Date

Owner Signature (or authorized agent)

Date

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
 Expiration Date: July 31, 2015

**Important: Read the instructions on pages 1-9.**

## SECTION A - PROPERTY INFORMATION

|                           |  |
|---------------------------|--|
| FOR INSURANCE COMPANY USE |  |
| Policy Number:            |  |
| Company NAIC Number:      |  |

A1. Building Owner's Name Frank & Diane Wink

A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
17305 Yucca Circle  
 City Bellevue State NE ZIP Code 68123

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)  
Lot 125, Hanson's Lakes, a subdivision in Sarpy County, Nebraska

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat. 41.0633 Long. -95.9493 Horizontal Datum:  NAD 1927  NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 8

A8. For a building with a crawlspace or enclosure(s):  
 a) Square footage of crawlspace or enclosure(s) 1266 sq ft  
 b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade 0  
 c) Total net area of flood openings in A8.b 0 sq in  
 d) Engineered flood openings?  Yes  No

A9. For a building with an attached garage:  
 a) Square footage of attached garage 0 sq ft  
 b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade 0  
 c) Total net area of flood openings in A9.b 0 sq in  
 d) Engineered flood openings?  Yes  No

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

|  |                        |  |  |                                |   |
|--|------------------------|--|--|--------------------------------|---|
| B1. NFIP Community Name & Community Number<br><u>Sarpy County 310190</u> |                        | B2. County Name<br><u>Sarpy</u>          |  | B3. State<br><u>NE</u>         |   |
| B4. Map/Panel Number<br><u>31153C0205</u>                                | B5. Suffix<br><u>G</u> | B6. FIRM Index Date<br><u>05/03/2010</u> | B7. FIRM Panel Effective/Revised Date<br><u>12/02/2005</u> | B8. Flood Zone(s)<br><u>AE</u> | B9. Base Flood Elevation(s) (Zone AO, use base flood depth)<br><u>976.6</u> |

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.  
 FIS Profile  FIRM  Community Determined  Other/Source: Google Earth NFHL

B11. Indicate elevation datum used for BFE in Item B9:  NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No  
 Designation Date: \_\_\_\_\_  CBRS  OPA

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
 \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.  
 Benchmark Utilized: MARN Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.  NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_  
 Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

|  |              |  |
|--|--------------|--|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor)  | <u>973.8</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| b) Top of the next higher floor  | <u>977.8</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only)  | <u>NA NA</u> | <input type="checkbox"/> feet <input type="checkbox"/> meters            |
| d) Attached garage (top of slab)   | <u>NA NA</u> | <input type="checkbox"/> feet <input type="checkbox"/> meters            |
| e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) | <u>974.7</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG)   | <u>973.8</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG)  | <u>976.2</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support                               | <u>973.1</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No

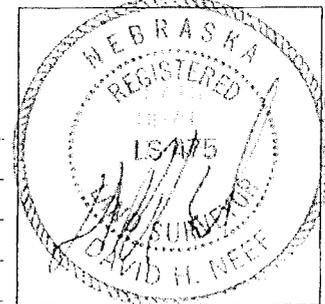
Check here if attachments.

Certifier's Name David H. Neef License Number NE RLS #475

Title Registered Land Surveyor Company Name THOMPSON, DRESSEN & DORNER, INC.

Address 10836 OLD MILL ROAD City OMAHA State NE ZIP Code 68154

Signature [Signature] Date 11/18/2013 Telephone 402-330-8860



TD2 #: 1546-105-9 Bk 13-13 pg 74

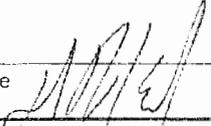
ELEVATION CERTIFICATE, page 2

|   |                         |                           |
|---|-------------------------|---------------------------|
| IMPORTANT: In these spaces, copy the corresponding information from Section A.  |                         | FOR INSURANCE COMPANY USE |
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.<br>17305 Yucca Circle |                         | Policy Number:            |
| City Bellevue   | State NE ZIP Code 68123 | Company NAIC Number:      |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments C2a) The crawlspace under the house slopes from front to back, the top of the bottom floor shown is the lowest end of the crawlspace.  
C2e) The lowest equipment servicing the building is the bottom of the duct work in the crawlspace.

Signature  Date 11/18/2013

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1- E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
  - a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
  - b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER’S REPRESENTATIVE) CERTIFICATION

The property owner or owner’s authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner’s or Owner’s Authorized Representative’s Name \_\_\_\_\_

|                 |            |                 |                |
|-----------------|------------|-----------------|----------------|
| Address _____   | City _____ | State _____     | ZIP Code _____ |
| Signature _____ | Date _____ | Telephone _____ |                |

Comments \_\_\_\_\_

Check here if attachments.

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community’s floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8-G10. In Puerto Rico only, enter meters.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4-G10) is provided for community floodplain management purposes.

|                         |                              |   |
|-------------------------|------------------------------|---|
| G4. Permit Number _____ | G5. Date Permit Issued _____ | G6. Date Certificate Of Compliance/Occupancy Issued _____ |
|-------------------------|------------------------------|---|

- G7. This permit has been issued for:  New Construction  Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_
- G10. Community’s design flood elevation: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

|                             |                 |
|-----------------------------|-----------------|
| Local Official’s Name _____ | Title _____     |
| Community Name _____        | Telephone _____ |
| Signature _____             | Date _____      |

Comments \_\_\_\_\_

Check here if attachments.

11-10-13AUB-23 RCVD

# Building Photographs

See Instructions for Item A6.

**IMPORTANT:** In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
17305 Yucca Circle

Policy Number:

City Bellevue

State NE

ZIP Code 68123

Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Front & Right Side View 11/18/2013



Right Side & Rear View 11/18/2013

11-13-15A08:25 RCVD

# Building Photographs

Continuation Page

**IMPORTANT:** In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt , Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
17305 Yucca Circle

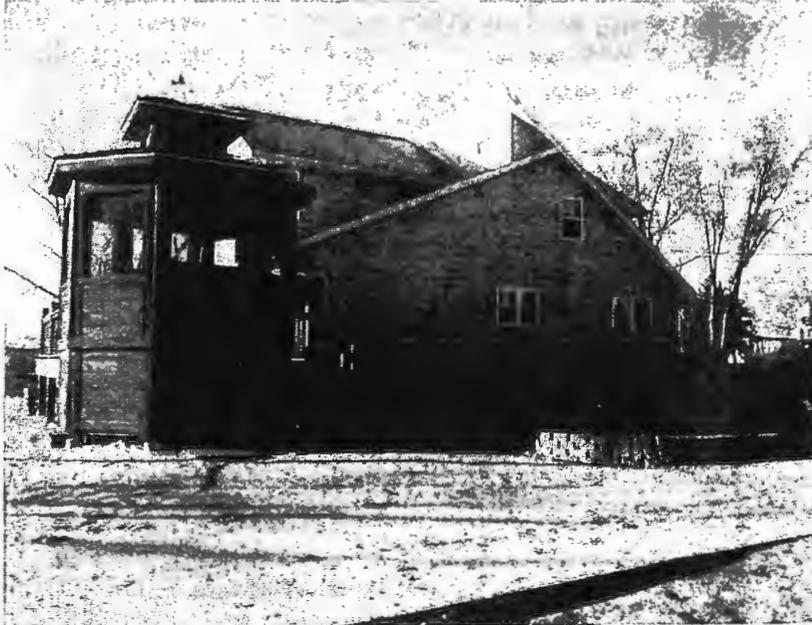
Policy Number:

City Bellevue

State NE ZIP Code 68123

Company NAIC Number:

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Left Side View 11/18/2013



Front & Left Side View 11/18/2013

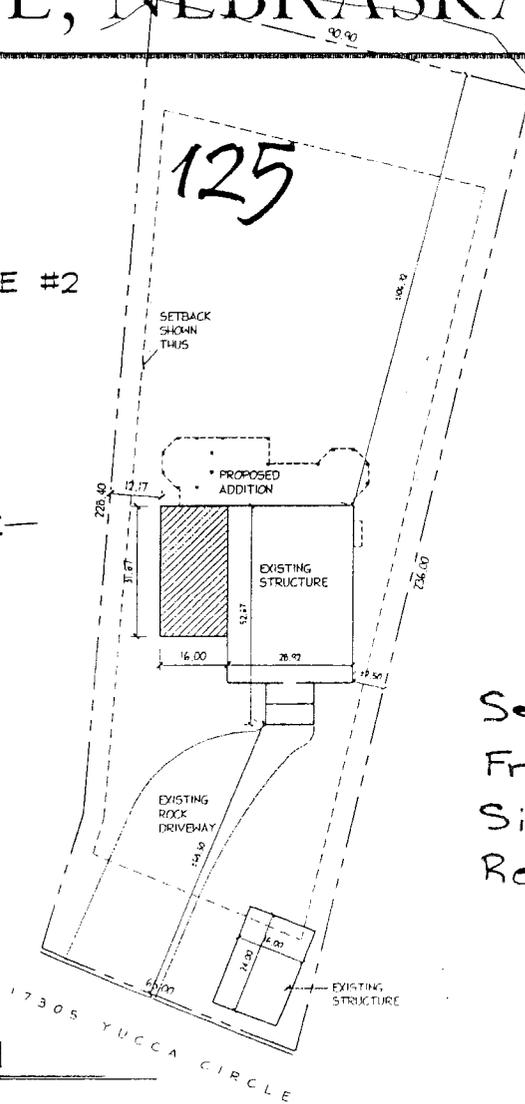
11-19-13 10:23 RCVD

# THE WINK RESIDENCE MASTER SUITE ADDITION 17305 YUCCA CIRCLE BELLEVUE, NEBRASKA

13966  
PRELIMINARY OR 20.13  
REVISED PAGE 13  
DATE 08/21 2011

TITLE SHEET / PLOT PLAN

HANSON'S LAKE #2  
LOT 125



Setbacks:  
Front : 25'  
Sides : 5'  
Rear : 25'

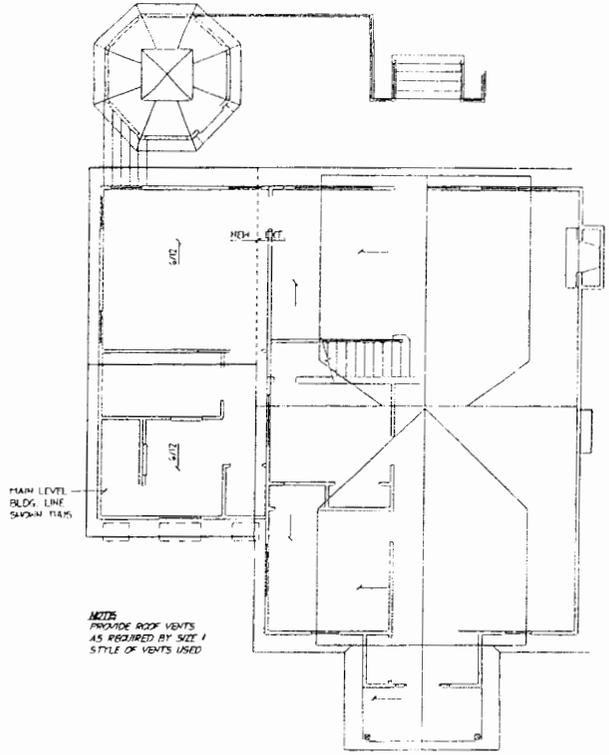
| SQUARE FOOTAGE      |       |
|---------------------|-------|
| EXISTING STRUCTURES | 1728  |
| ADDITION            | 507   |
| TOTAL               | 2235  |
| TOTAL PERVIOUS      | 17154 |
| TOTAL IMPERVIOUS    | 2235  |
| GRAND TOTAL         | 14929 |
| TOTAL IMPERVIOUS %  |       |
| TOTAL BUILDING(S)   | 13.0% |

PLOT PLAN



**JECK & COMPANY BUILDERS**  
Exceptional Custom Homes  
**THE WINK RESIDENCE**  
MASTER SUITE ADDITION  
17305 YUCCA CIRCLE  
BELLEVUE, NEBRASKA

TS 1



**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

These working drawings have been prepared by Design Wk Co. in most average building conditions and were designed under standard interpretation of the 2006 International Residential Code (IRC 2006) and the amendments adopted by the City of Omaha, Nebraska. Because codes and requirements can change and may vary from jurisdiction to jurisdiction Design Wk Co. cannot warrant compliance with any specific codes or regulations. Therefore, the builder of the plans should consult their local building official to determine the requirements between the plan and actual site conditions and regulations.

**CONCRETE AND FOUNDATIONS:**  
 Footing design assumes 1500 PSF allowable bearing pressure. Foundation wall design assumes 30 PSI equivalent hydrostatic pressure. Contractor to verify soil conditions prior to concrete placement.  
 Rebar spacing as follows, unless otherwise noted:  
 Column Reinforcing - As noted on plan  
 20' 0" continuous footing (3) #4 @ 24"  
 12" 0" continuous footing (2) #4 @ 24"  
 Foot walls - 10" 0" 2' deep - below grade (no rebar required)  
 Provide footing slabs to match vertical wall reinforcing.  
 Reinforcing bars shall be Grade 40 or better.  
 All concrete shall be 3000 PSI minimum (28 day compressive strength).  
 All footings shall be a minimum of 3'-4" below finished grade or deeper per drawings.

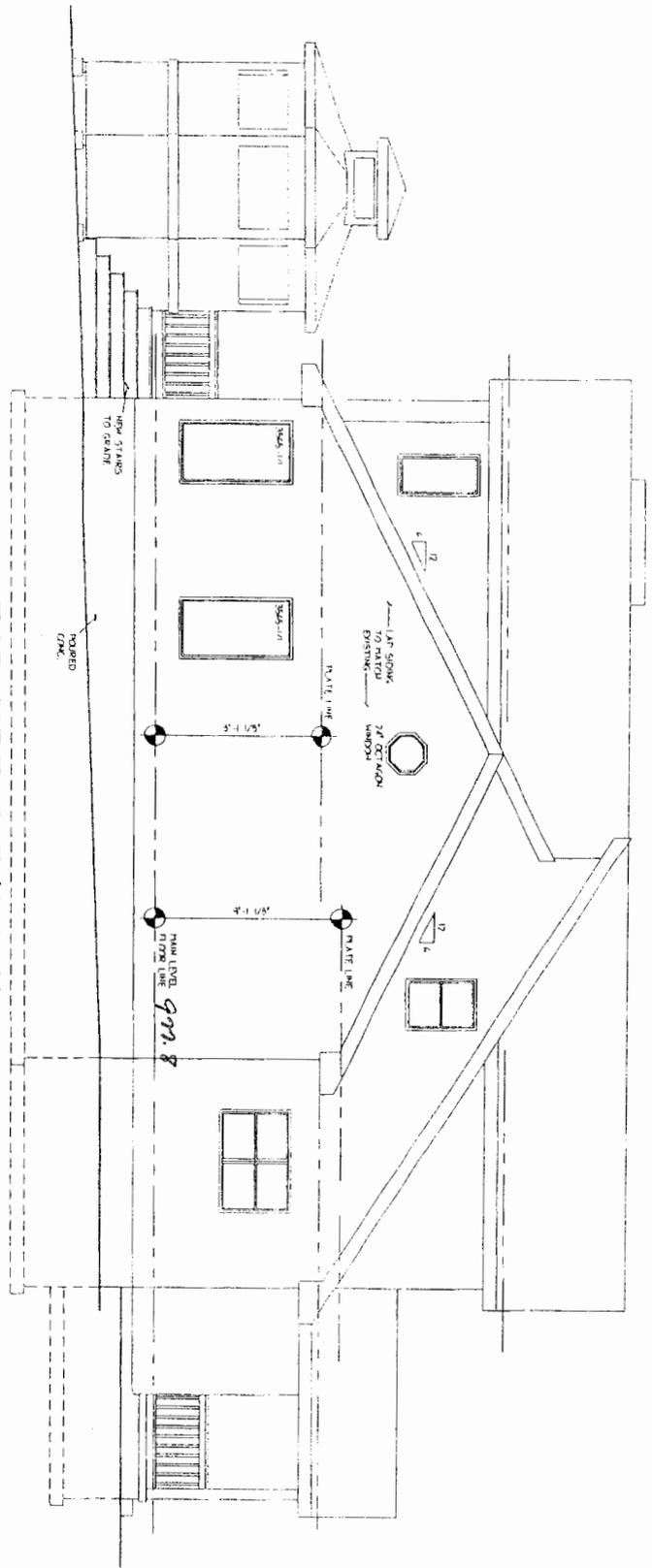
The builder shall be aware of and responsible for, but not limited to, the following:  
 1. Contractor shall verify all conditions and dimensions prior to construction and be solely responsible for any changes necessary as a result of conditional or dimensional differences.  
 2. Contractor shall verify all dimensions and elevations against the plan and actual site conditions.  
 3. Calculated dimensions take precedence over scaled dimensions.  
 4. All exterior dimensions include wall sheathing, all other dimensions are from framing.

**STRUCTURAL AND FRAMING:**  
 All structural members are for building purposes only. All structural member sizes shall be verified by contractor.  
 All additional structural members required for specific framing techniques shall be noted by the contractor.  
 All steel pipe columns shall be 3 1/2" O.D. (outside diameter) and 3" I.D. (inside diameter) unless noted otherwise.  
 Ceiling joist to be 2x4 SPS #2 AT 24" O.C. unless noted otherwise or required.  
 Roof rafters to be 2x6 SPS #2 AT 24" O.C. unless noted otherwise or required.  
 Provide bracing as required.  
 All perimeter headers over openings to be (2)2x12s unless noted otherwise.  
 Double floor joists under all parallel non-load bearing walls.  
 Provide double cripple studs under LVC headers.  
 Provide purlins and bracing for rafters as required and collar ties at 4'-0" o.c.  
 Provide let-in wind bracing as required.  
 No penetrations through any structural member (such as pipes, conduits, etc.) shall be made.

**ABBREVIATIONS**

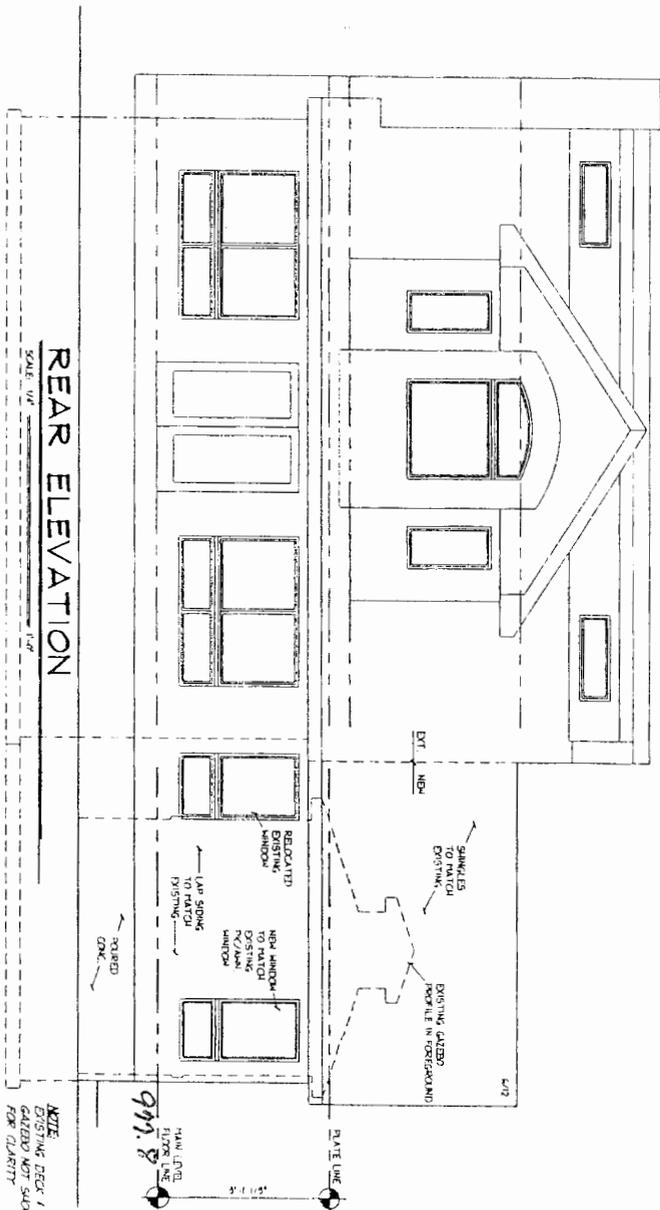
|                              |                                |                                |                           |                               |                 |
|------------------------------|--------------------------------|--------------------------------|---------------------------|-------------------------------|-----------------|
| ADJ. ADJUSTABLE              | FIN. FINISH                    | FJ.F. FLOOR JOISTS             | N.T.S. NOT TO SCALE       | TRYP. TYPED                   | TRAMP. TRAMPED  |
| ALT. ALTERNATE               | FLR. FLOOR                     | FTG. FOOTING                   | N.I.C. NOT IN CONTRACT    | TRANS. TRANSIT                | TRAF. TRAPEZOID |
| ASH. ASHING                  | FLR. FLOOR                     | FTG. FOOTING                   | O.C. ON CENTER            | TRAF. TRAPEZOID               | TYP. TYPICAL    |
| BLDG. BUILDING               | GALV. GALVANIZED               | G.D.V. GAS DIRECT VENT         | OCT. OCTAGON              | UNDEVELOPED                   | UNDEVELOPED     |
| BSMT. BASEMENT               | GARB. DISPOS. GARBAGE DISPOSAL | GLUED & NAILED                 | OVERHEAD DOOR             | UNDEVELOPED                   | UNDEVELOPED     |
| CAB. CABINET                 | H.C. HOLLOW CORE               | H.C. HOLLOW CORE               | OPNG. OPENING             | UNDEVELOPED                   | UNDEVELOPED     |
| C.J. CEILING JOISTS          | HDR. HEADER                    | HDR. HEADER                    | P.C. PULL CHORD           | VERT. VERTICAL                |                 |
| CLG. CEILING                 | HFI. HEM-FIR                   | HFI. HEM-FIR                   | PIC. PICTURE              |                               |                 |
| C.M.U. CONCRETE MASONRY UNIT | HORIZ. HORIZONTAL              | HORIZ. HORIZONTAL              | PROJ. PROJECTION          | MISC. ABBREVIATIONS           |                 |
| C.O. CASED OPENING           | INT. INTERIOR                  | INT. INTERIOR                  | REFR. REFRIGERATOR        | # SQUARE FOOT                 |                 |
| CONC. CONCRETE               | INSUL. INSULATION              | INSUL. INSULATION              | R. RADIUS                 | # AT                          |                 |
| CONT. CONTINUOUS             | JST. JOIST                     | JST. JOIST                     | R.O. ROUGH OPENING        | A.F.F. ABOVE FINISH FLOOR     |                 |
| DBL. DOUBLE                  | L.V.L. LAMINATED VENEER LUMBER | L.V.L. LAMINATED VENEER LUMBER | R.S.C. ROUGH SAWN CEDAR   | A.M.L.F.F. ABOVE MAIN LEVEL   |                 |
| D.H. DOUBLE HUNG             | LAV. LAVATORY                  | LAV. LAVATORY                  | SEC. SECOND               | FINISH FLOOR                  |                 |
| DIA. DIAMETER                | LIN. LINEN                     | LIN. LINEN                     | S.C. SOLID CORE           | A.S.L.F.F. ABOVE SECOND LEVEL |                 |
| DN. DOWN                     | LIV. LIVING                    | LIV. LIVING                    | SHWR. SHOWER              | FINISH FLOOR                  |                 |
| DF. DOUGLAS-FIR              | LVL. LAMINATED VENEER LUMBER   | LVL. LAMINATED VENEER LUMBER   | SIDE LIGHT                | CENTER LINE                   |                 |
| D.O. DRYWALL OPENING         | LX. LINEN                      | LX. LINEN                      | S.L. SECOND LEVEL         | 5s FIVE SHELVES               |                 |
| E.A. EACH                    | LX. LINEN                      | LX. LINEN                      | S.P.F. SPRUCE-PINE-FIR    | 10s TEN SHELVES               |                 |
| ELEV. ELEVATION              | LX. LINEN                      | LX. LINEN                      | SQ. FT. SQUARE FEET       | PLATE LINE                    |                 |
| ENG. ENGINEERED              | LX. LINEN                      | LX. LINEN                      | STA. STATIONARY           | TR-1S ONE ROD - ONE SHELF     |                 |
| EQ. EQUAL                    | LX. LINEN                      | LX. LINEN                      | STD. STANDARD             | TR-2S ONE ROD - TWO SHELVES   |                 |
| EXT. EXISTING                | LX. LINEN                      | LX. LINEN                      | STG. STEEL                | TR-2S TWO ROD - TWO SHELVES   |                 |
| EXT. EXISTING                | LX. LINEN                      | LX. LINEN                      | SYP. SOUTHERN YELLOW PINE | + HIGH ONE ROD 1 SHELF ABOVE  |                 |
| EXT. EXISTING                | LX. LINEN                      | LX. LINEN                      | T&G. TONGUE & GROOVE      | S4S SURFACED FOUR SIDES       |                 |
| EXT. EXISTING                | LX. LINEN                      | LX. LINEN                      | T.C. TRASH COMPACTOR      | W/ WITH                       |                 |

11-10-18 09:12:23 RGVW



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

NOTE  
EXISTING DECK 1  
GATED NOT SHOWN  
FOR CLARITY

MAIN LEVEL  
FINISH LINE  
999.8

2 5

**JECK & COMPANY BUILDERS**  
Exceptional Custom Homes

**THE WINK RESIDENCE**  
MASTER SUITE ADDITION  
17305 YUCCA CIRCLE  
BELLEVUE, NEBRASKA

SIDE AND REAR ELEVATIONS

PRELIMINARY 6.23.13  
REVISION SET 08.06.13  
FINAL DRAFT 09.16.13

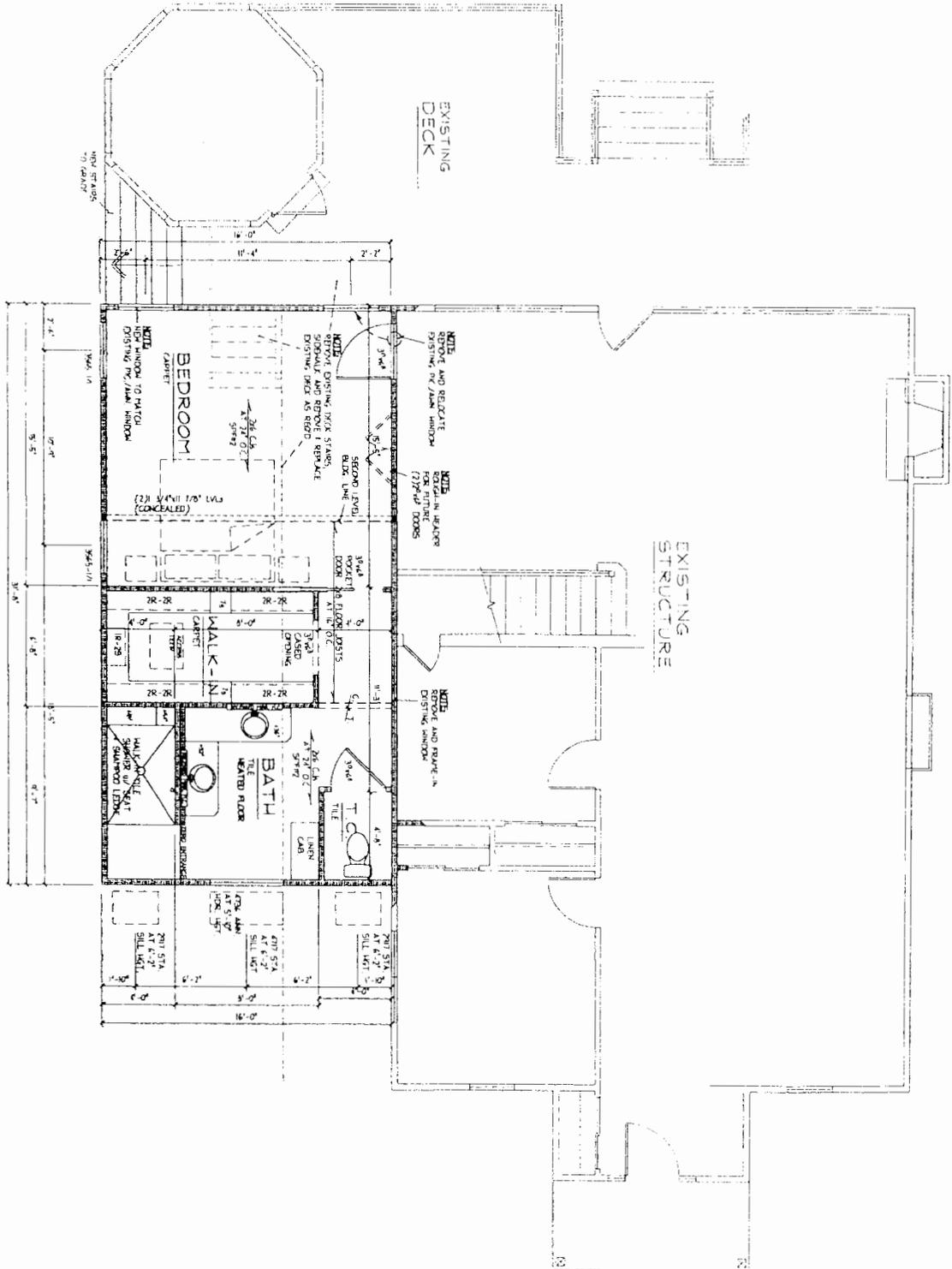
13946



- FRAMING NOTES**
1. ALL STRUCTURAL MEMBERS AND FRAMING MEMBERS SHALL BE CONFORMED TO CONSTRUCTION FOR SITE, GRADE, AND FOUNDATION CONDITIONS.
  2. ALL FRAMING SHALL BE 2" X 4" UNLESS NOTED OTHERWISE.
  3. ALL OTHER WALLS AND 3/4" THICK CONCRETE WALLS SHALL BE 12" MINIMUM.
  4. ALL WOOD SHALL BE 12% MOISTURE.
  5. ALL WOOD SHALL BE AT LEAST 1/2" UNLESS NOTED OTHERWISE.
  6. ALL WOOD SHALL BE AT LEAST 1/2" UNLESS NOTED OTHERWISE.
  7. ALL WOOD SHALL BE AT LEAST 1/2" UNLESS NOTED OTHERWISE.
  8. ALL WOOD SHALL BE AT LEAST 1/2" UNLESS NOTED OTHERWISE.
  9. ALL WOOD SHALL BE AT LEAST 1/2" UNLESS NOTED OTHERWISE.
  10. ALL WOOD SHALL BE AT LEAST 1/2" UNLESS NOTED OTHERWISE.

**OWNER'S SUITE  
\* 8'-0" MAIN LEVEL CEILING  
MAIN LEVEL FLOOR PLAN**

SCALE 1/4" = 1'-0"

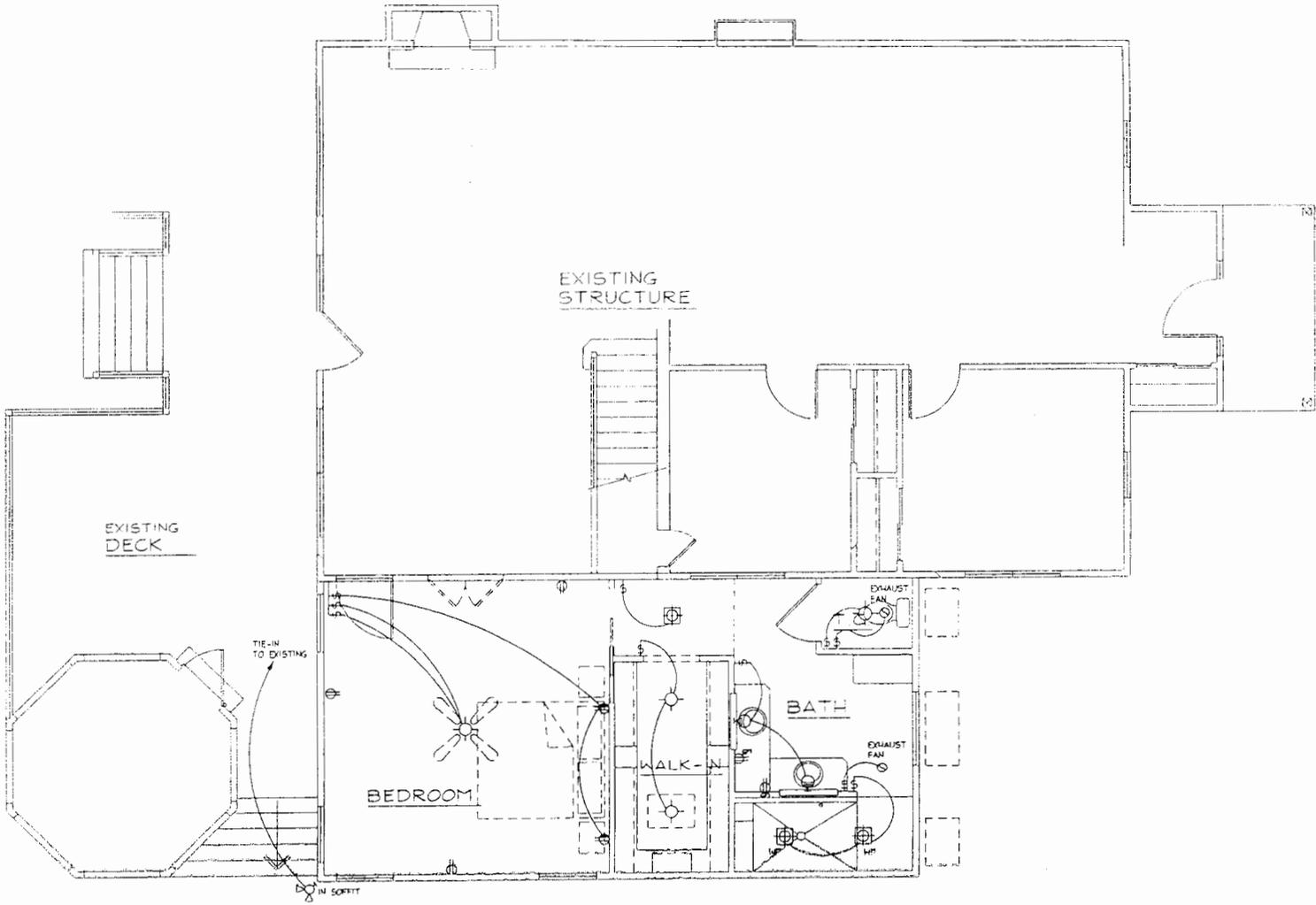


| SQUARE FOOTAGE          |            |
|-------------------------|------------|
| MAIN LEVEL - EXISTING   | 127        |
| MAIN LEVEL - NEW        | 104        |
| SECOND LEVEL - EXISTING | 154        |
| SECOND LEVEL - NEW      | 100        |
| <b>TOTAL</b>            | <b>385</b> |

2,330.00



| ELECTRICAL SYMBOL LEGEND  |   |
|---|---|
|   | SINGLE POLE SWITCH                                    |
|   | THREE-WAY SWITCH                                      |
|   | FOUR-WAY SWITCH                                       |
|   | DIMMER SWITCH   |
|   | 115 VOLT OUTLET                                       |
|   | SPLIT WIRE OUTLET                                     |
|   | GROUND FAULT INTERRUPTER                              |
|   | NOTATES SEPARATE NEUTRAL BRANCH FLOOR (1/2" - 11/16") |
|   | QUAD BOX OUTLET                                       |
|   | 220 VOLT OUTLET                                       |
|   | WEATHER COVER OUTLET                                  |
|   | SURFACE MOUNT LIGHT FIXTURE                           |
|   | NAIL CHORD LIGHT FIXTURE                              |
|   | WALL MOUNT LIGHT FIXTURE                              |
|   | RECESSED LIGHT FIXTURE                                |
|   | MINI RECESSED LIGHT FIXTURE                           |
|   | FLUORESCENT LIGHT FIXTURE                             |
|   | UNDER CABINET/ROPE LIGHTING                           |
|   | SURFACE MOUNT LIGHT AND EXHAUST FAN UNIT              |
|   | EXTERIOR FLOOD LIGHT FIXTURE                          |
|   | CEILING FAN   |
|   | CEILING FAN w/ LIGHT FIXTURE                          |
|   | JUNCTION BOX  |
|   | SMOKE DETECTOR  |
| NOTE:<br>ALL SMOKE DETECTORS SHALL BE HARD WIRED WITH A BATTERY BACKUP. |   |



## MAIN LEVEL ELECTRICAL

SCALE: 1/4" = 1'-0"

13966  
 10/23/13  
 10/23/13  
 10/23/13

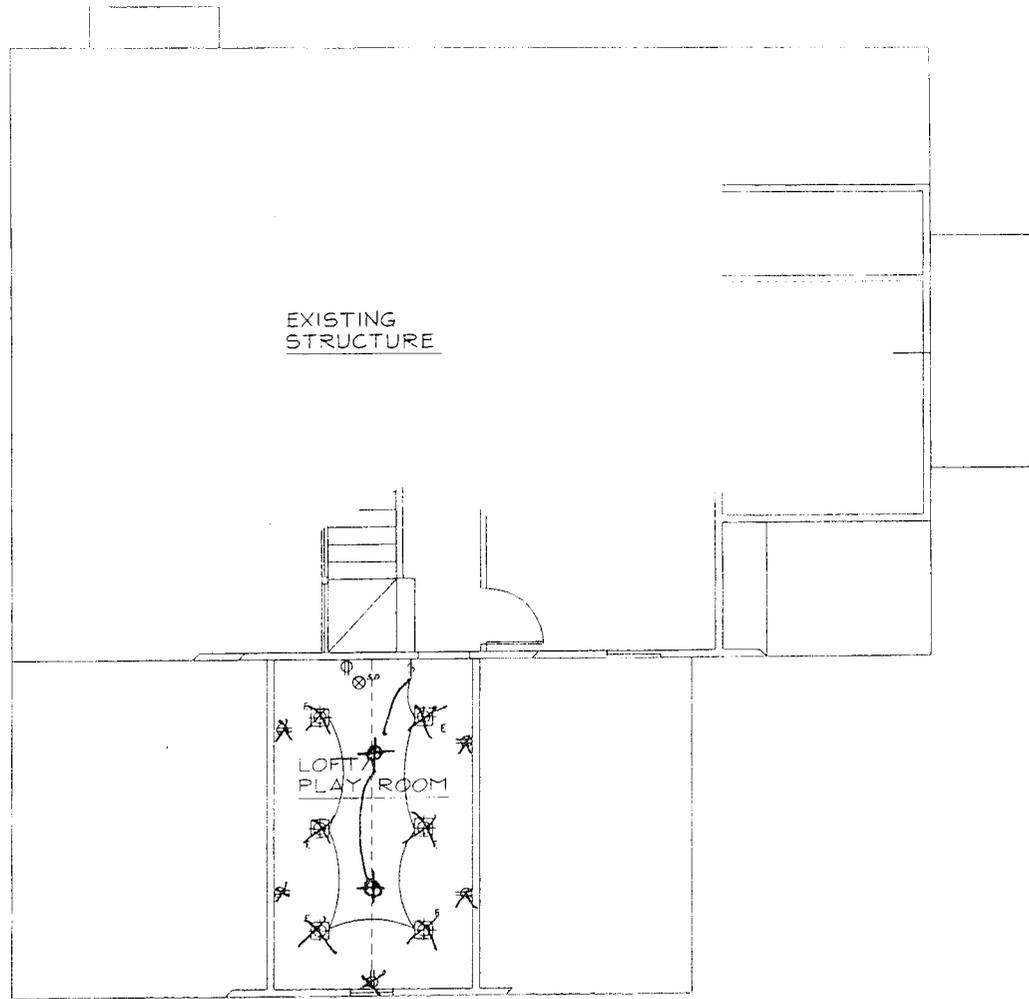
MAIN LEVEL ELECTRICAL

**JECK & COMPANY BUILDERS**  
*Exceptional Custom Homes*

**THE WINK RESIDENCE**  
 MASTER SUITE ADDITION  
 17305 YUCCA CIRCLE  
 BELLEVUE, NEBRASKA

E - 1

| ELECTRICAL SYMBOL LEGEND  |   |
|---|---|
|   | SINGLE POLE SWITCH                            |
|   | THREE-WAY SWITCH                              |
|   | FOUR-WAY SWITCH                               |
|   | DIMMER SWITCH                                 |
|   | 110 VOLT OUTLET                               |
|   | SPLIT WIRE OUTLET                             |
|   | GROUND FAULT INTERRUPTER                      |
|   | NOTATES HEIGHT ABOVE FINISH FLOOR (IN INCHES) |
|   | 120/100 VOLT OUTLET                           |
|   | 220 VOLT OUTLET                               |
|   | WEATHER PROOF OUTLET                          |
|   | SURFACE MOUNT LIGHT FIXTURE                   |
|   | PULL CHORD LIGHT FIXTURE                      |
|   | WALL MOUNT LIGHT FIXTURE                      |
|   | RECESSED LIGHT FIXTURE                        |
|   | MINI RECESSED LIGHT FIXTURE                   |
|   | FLUORESCENT LIGHT FIXTURE                     |
|   | UNDER CABINET/ROPE LIGHTING                   |
|   | SURFACE MOUNT LIGHT AND EXHAUST FAN UNIT      |
|   | EXTERIOR FLOOD LIGHT FIXTURE                  |
|   | CEILING FAN                                   |
|   | CEILING FAN w/ LIGHT FIXTURE                  |
|   | JUNCTION BOX                                  |
|   | SMOKE DETECTOR                                |
| NOTE:<br>ALL SMOKE DETECTORS SHALL BE HARD WIRED WITH A BATTERY BACKUP. |   |



**SECOND LEVEL ELECTRICAL**

SCALE: 1/4" = 1'-0"

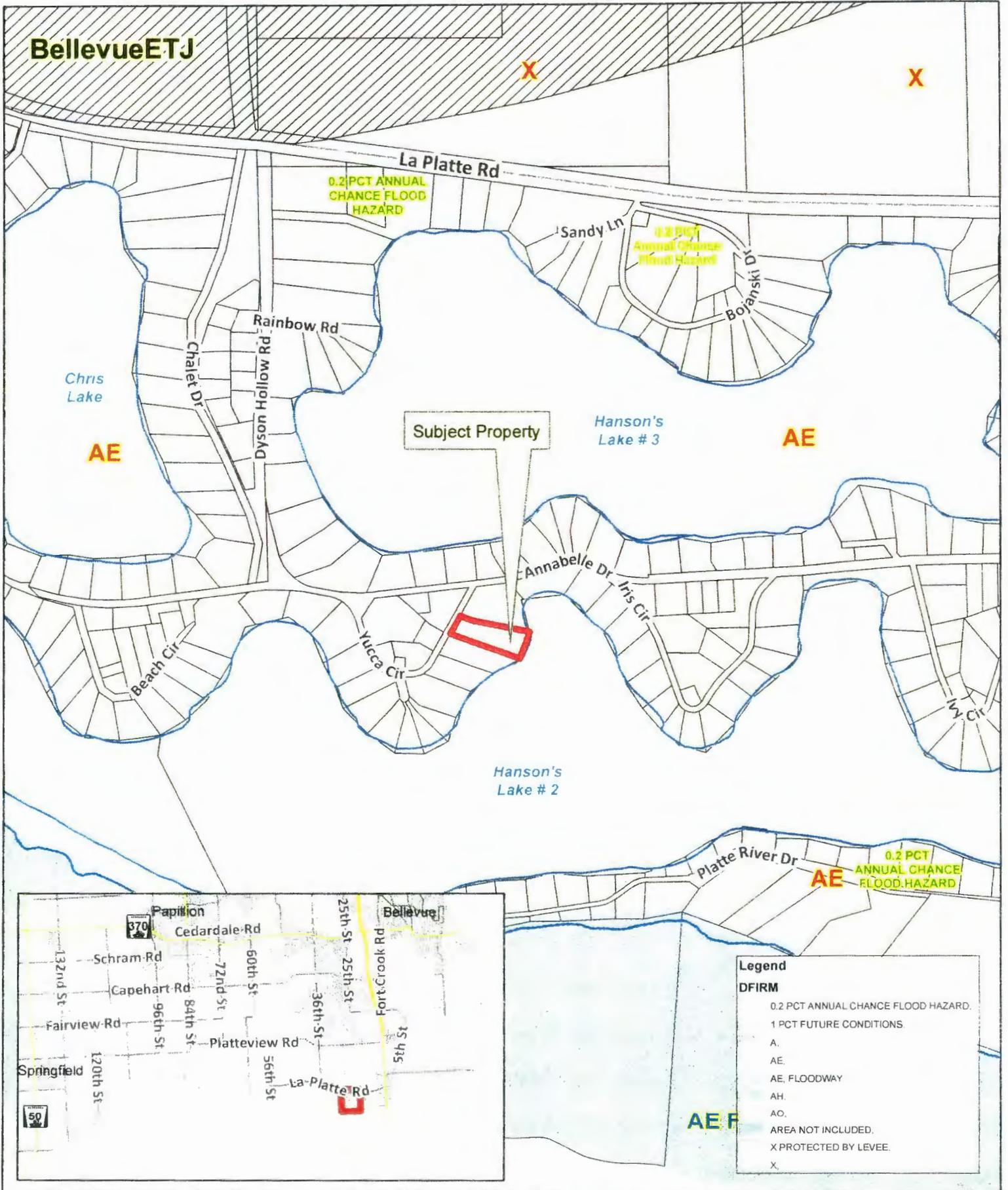
Unfinished Attic Space

DATE: 08.23.11  
 DRAWN BY: JACOB  
 CHECKED BY: JACOB  
 PROJECT: 17305 YUCCA

SECOND LEVEL ELECTRICAL

**THE WINK RESIDENCE**  
 MASTER SUITE ADDITION  
 17305 YUCCA CIRCLE  
 BELLEVUE, NEBRASKA

**JECK & COMPANY BUILDERS**  
*Exceptional Custom Homes*



**Vicinity Map - Flood Zones**  
 17305 Yucca Cir - Lot 125, Hanson's Lakes  
 Wink Flood Plan Development Permit





**Current FLU - Sarpy Co**

0 0.075 0.15 0.3 Miles



**Wink - Flood Plain Development Permit**

Comprehensive Development Plan  
**Figure 5.1: Development Structure Plan**  
 Sarpy County, Nebraska

**Legend**

- |                          |                               |                       |
|--------------------------|-------------------------------|-----------------------|
| Highway Corridor Overlay | Long Term Residential Growth  | Cross County Arterial |
| Bellevue Future Growth   | Mixed Use                     | City Limit            |
| Business Park            | Mixed Use Center              | City ETJ              |
| Civic                    | New Richfield Village         |                       |
| Conservation Residential | Park/School Site              |                       |
| Estate Residential       | Plug Interchange Development  |                       |
| Greenway                 | Residential Community Systems |                       |
| Industrial               | Urban Residential             |                       |
| Light Industrial/Storage | Urban Residential II          |                       |