

BOARD OF COUNTY COMMISSIONERS SARPY COUNTY, NEBRASKA

A

RESOLUTION APPROVE FLOOD PLAIN DEVELOPMENT PERMIT & NON-  
CONVERSION AGREEMENT AND AUTHORIZE CHAIR TO SIGN SAME  
Cheryl Belz, Lot 21 Chris Lake; 2914 Annabelle Drive, Bellevue, NE

WHEREAS, pursuant to Neb. Rev. Stat. § 23-104 (Reissue 2007), the County has the power to do all acts in relation to the concerns of the County necessary to the exercise of its corporate powers; and,

WHEREAS, pursuant to Neb. Rev. Stat. § 23-103 (Reissue 2007), the powers of the County as a body are exercised by the County Board; and,

WHEREAS, the County Board of Commissioners has the authority to adopt a Zoning Regulation, which shall have the force and effect of law pursuant to Neb. Rev. Stat. § 23-114 (Reissue 2007); and,

WHEREAS, the Zoning Regulations were recently amended to allow construction of an attached garage at an elevation below the Base Flood Elevation provided the owner execute a Non-Conversion Agreement with Sarpy County which restricts the use of the attached garage to the parking of vehicles, limited storage, or access to the structure; and

WHEREAS, Bruce Fountain, Planning Director has reviewed Cheryl Belz's application for a Flood Plain Development Permit for compliance with the Zoning Regulations on the property legally described in the attached Exhibit A; and,

WHEREAS, so long as the applicants sign the attached Non-Conversion Agreement, said application is in compliance with Section 30, Flood Plain District of Zoning Regulations and further, the Natural Resources District has no objection to the development permit with a signed Non-Conversion Agreement; and,

WHEREAS, the Planning Director has made a recommendation of approval as noted in the attached Exhibit A, which Exhibit A includes the Planning Director report, the elevation certificate, the Natural Resources District comments, the site plan of the subject property and the proposed Non-Conversion Agreement.

WHEREAS, said Non-Conversion Agreement allows the applicant to build an attached garage on the property but restricts the use of the attached garage to the parking of vehicles, limited storage, or access to the structure.

WHEREAS, the Planning Director report also notes that the proposed improvements are only 6.5% of the market value and thus the proposed improvements are not considered a substantial improvement within the flood plain regulations. However, Section 30.5.2(H) requires flood plain development permits to be calculated cumulatively over time in order to determine whether or not improvements become a substantial improvement.

NOW, THEREFORE, BE IT RESOLVED BY THE SARPY COUNTY BOARD OF COMMISSIONERS THAT the Flood Plain Development Permit Application for the property legally described in the attached Exhibit A is hereby approved on the condition that the applicant sign the Non-Conversion Agreement and file same with the Sarpy County Register of Deeds.

Proof of such filing must be delivered to the Sarpy County Clerk for filing with this Resolution before any building permit is approved or issued.

BE IT FURTHER RESOLVED THAT the Chair and the Clerk are hereby authorized to sign the Non-Conversion Agreement.

The above Resolution was approved by a vote of the Sarpy County Board of Commissioners at a public meeting duly held in accordance with applicable law on the 4<sup>th</sup> day of December 2012.

Attest



SEAL

Sarpy County Board Chairman

County Clerk

C

**FLOODPLAIN STRUCTURE NON-CONVERSION AGREEMENT**

This Agreement made by and between Cheryl Belz ("Owner") and Sarpy County. Owner and Sarpy County are referred to collectively hereinafter as "the Parties" an individually as a "Party".

This Agreement is made in consideration of issuance of a Floodplain Development Permit for construction of improvements on the attached site plan and construction plans on the following described real property:

Lot 21, Chris Lake, Sarpy County, Nebraska.

WITNESSETH:

WHEREAS, Owner is the record owner of all that real property located at Lot 21, Chris Lake (2914 Annabelle Drive, Bellevue, NE) in the County of Sarpy, ("Property").

WHEREAS, Sarpy County has duly enacted Sarpy County Zoning Regulations ("Regulations") which includes regulations for land located within the floodplains of Sarpy County, set out at Section 30, Floodplain District within said Regulations as amended.

WHEREAS, Property is located within the AE Floodplain Zone adjacent to Chris Lake.

WHEREAS, Owner and Sarpy County wish to come to a mutual agreement regarding the Property.

WHEREAS, Owner has applied for a Floodplain Development Permit to construct a structure on the Property which either (1) does not conform, or (2) may be noncompliant by later conversion, to the strict elevation requirements of Section 30, Flood Plain District of the Sarpy County Zoning Regulations ("Regulations").

NOW, THEREFORE, for and in consideration of the foregoing recital and the mutual covenants of the parties hereinafter expressed, the PARTIES hereby acknowledge, covenant, and agree as follows:

1. The Base Flood Elevation determined at this location is 978.3 feet above mean sea level, National Geodetic Vertical Datum.
2. The attached garage finished floor elevation for the structure on the Property is 976.1 feet (NAVD 1988), which is below the Base Flood Elevation.
3. Enclosed areas below the Base Flood Elevation, including the attached garage, shall be used solely for parking of vehicles, limited storage, or access to the structure on the Property.
4. All interior walls, ceilings and floors below the Base Flood Elevation shall be unfinished or constructed of flood resistant materials.
5. Mechanical, electrical or plumbing devices shall not be installed below the Base Flood Elevation.



SARPY COUNTY:

*Russell H. H.*

Sarpy County Board Chairman

12/4/12  
Date

Attest  
SEAL



*D. Houghtaling*  
County Clerk

Approved as to form:

*Matthew A. Smith*  
Sarpy County Attorney

COUNTER ah ah C.E. ah  
VERIFY ah ah D.E. ah  
PROOF \_\_\_\_\_  
FEES \$ 25.50  
CHECK# \_\_\_\_\_  
CHG \_\_\_\_\_ CASH 26.00  
REFUND .50 CREDIT \_\_\_\_\_  
SHORT \_\_\_\_\_ NCR \_\_\_\_\_

FILED SARPY COUNTY NEBRASKA  
INSTRUMENT NUMBER

2012-38301

12/06/2012 10:35:07 AM

*Lloyd J. Dowding*

REGISTER OF DEEDS



**THIS PAGE ADDED  
FOR RECORDING  
INFORMATION.**

**DOCUMENT STARTS ON  
NEXT PAGE.**

**LLOYD J. DOWDING**

SARPY COUNTY REGISTER OF DEEDS  
Steven J. Stastny, Deputy  
1210 GOLDEN GATE DRIVE, STE 1109  
PAPILLION, NE 68046-2895  
402-593-5773

*Return to:  
County Clerks  
Office  
Chris Vance*

*Rec'd  
Cheryl Belz*

## EXHIBIT A

Sarpy County Board of Commissioners Report  
Staff Report Prepared: November 27, 2012  
County Board Date: December 4, 2012

Subject	Type	By
Floodplain Development Permit for addition of an attached garage bay to an existing residential structure – Lot 21, Chris Lake (Cheryl Belz - 2914 Annabelle Dr., Bellevue, NE)	Resolution	Bruce Fountain, AICP, EDFP Planning Director

### ➤ **Application Overview**

- This is a request for the approval of a floodplain development permit (FDP) for the site legally described as Lot 21, Chris Lake (2914 Annabelle Dr., Bellevue, NE). The FDP application is for construction of an additional garage bay attached to an existing residential structure.
- The lowest floor elevation of the existing structure is approximately 2' below the Base Flood Elevation (BFE) and the proposed addition will be at the same elevation as the existing structure. Under recent amendments to the County Floodplain Development Regulations, an attached garage may be constructed at an elevation below the Base Flood Elevation provided that the owner signs a Non-Conversion Agreement with the County stating that the garage will never be converted to living space. The applicant has agreed to execute such a Non-Conversion Agreement.

### ➤ **Comprehensive Development Plan**

- The Sarpy County Comprehensive Plan (Development Structure Plan – Figure 5.1) indicates this area as Urban Residential.

### ➤ **Zoning / Floodplain Regulations**

- The area is zoned RD-50 FP (Two-Family Residential District – Flood Plain)
- The property is located in an AE Floodplain Zone adjacent to Chris Lake. (see attached map).
- The BFE (Base Flood Elevation) determined at this location is 978.3 feet (NAVD 1988).
- According to the elevation certificate provided, the proposed addition's finished floor elevation will be 976.1 feet (NAVD 1988), which is below the BFE. Sarpy County floodplain regulations state that enclosed areas below the BFE should be used solely for parking of vehicles and storage of removable items. When the area below the BFE is used for the parking of vehicles, the County may require the owner to sign a Non-Conversion Agreement to assure that the space is not converted to another use in the future. A Non-Conversion Agreement has been drafted for this situation and will be required to be signed by the applicant prior to the issuance of a building permit. Upon approval, the applicant also will be required to file the signed Non-Conversion Agreement with the County Register of Deeds.
- If additions and repairs/maintenance qualify as a substantial improvement (meaning the cost of repairs are in excess of 50% of the market value of the structure), the entire structure must then comply with the current floodplain regulations. The current assessed valuation of the existing structure is \$191,680 according to the County Assessor's records. The costs of this proposed addition are estimated to be \$12,450 (approximately 6.5% of the assessed market value of the structure).
- The calculations utilized for substantial improvement are cumulative which means that the value of any future improvements made will be added to those being done now; and the total of all

improvements (past and future) may not exceed 50% of the structure's market value at that time as well. Therefore, if future improvements to this structure exceed the 50% cumulative amount, it will require that the entire structure be brought into compliance with all current Sarpy County floodplain regulations.

- The plans submitted for this structure indicate it will have 2 flood vents located on two separate walls. These flood vents will each be 8" x 16" in size for a total size of openings of 256 square inches. A total of 154 square inches is required by the floodplain regulations.
- Upon completion of construction, an elevation certificate must be submitted to the Sarpy County to verify the structure was built according to plans. The flood vent information should also be recorded on the elevation certificate at that time.
- The new construction must meet the minimum setback and zoning requirements at the time of building permit application.
- The request as submitted is in conformance with the Sarpy County Floodplain regulations.

➤ **Natural Resources District**

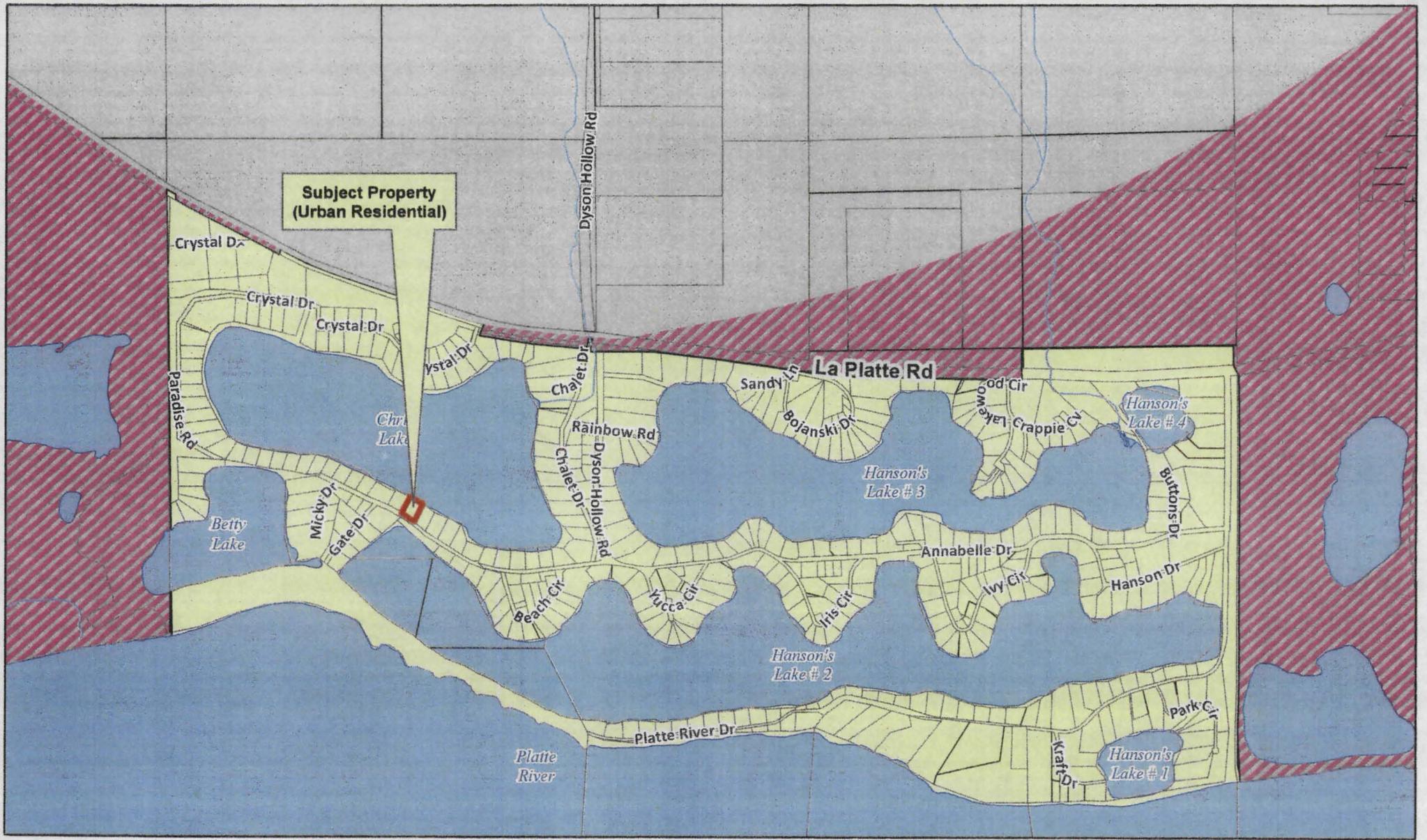
- The Papio Missouri River Natural Resources District (NRD) has no objections to the proposed project construction provided it meets the conditions outlined above and in their attached letter.

➤ **Recommendation**

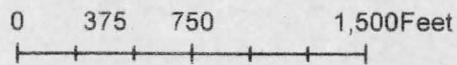
- For the reasons stated above, staff recommends the permit be approved for the addition of an attached garage stall to the existing residential structure at this location.

Respectfully submitted by:

Bruce Fountain, AICP, EDFP  
Planning Director



### Current FLU - Sarpy Co



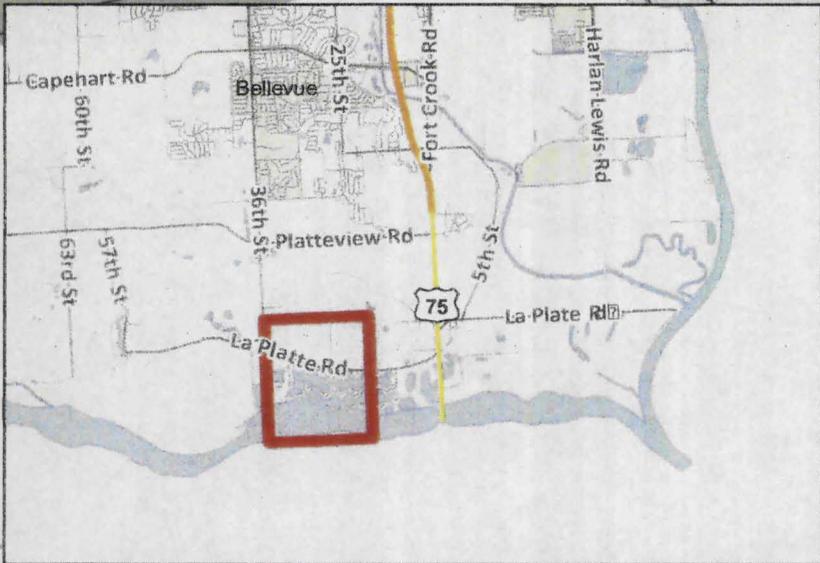
### 2914 Annabelle Dr - Flood Plain Development

Comprehensive Development Plan  
**Figure 5.1: Development Structure Plan**  
 Sarpy County, Nebraska

#### Legend

- |                                     |                                 |                       |
|-------------------------------------|---------------------------------|-----------------------|
| features.GIS.HighwayCorridorOverlay | Long Term Residential Growth    | Cross County Arterial |
| Bellevue Future Growth              | Mixed Use                       | City Limit            |
| Business Park                       | Mixed Use Center                | City ETJ              |
| Civic                               | New Richfield Village           |                       |
| Conservation Residential            | Park/School Site                |                       |
| Estate Residential                  | Pflug Interchange Development   |                       |
| Greenway                            | Residential - Community Systems |                       |
| Industrial                          | Urban Residential               |                       |
| Light Industrial/Storage            | Urban Residential II            |                       |

Amended 3-07-2012



**Vicinity Map - Zoning**  
 2914 Annabelle Dr - Lot 21 Chris Lake  
 Flood Plain Development



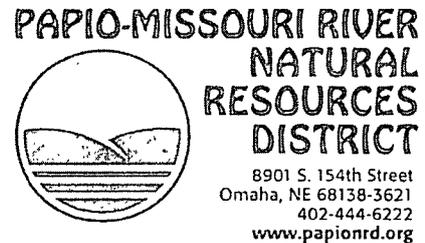


**Vicinity Map - Flood Zones**  
 2914 Annabelle Dr - Lot 21 Chris Lake  
 Flood Plain Development Permit



November 26, 2012

Bruce Fountain, Director  
Sarpy County Planning Department  
1210 Golden Gate Drive  
Papillion, NE 68046



RE: 2914 Annabelle Drive Application for Flood Plain Development Permit

Dear Mr. Fountain:

The District received information concerning the proposed construction of an addition to an existing garage at 2914 Annabelle Drive in Chris Lake in Bellevue, Nebraska. According to the Flood Insurance Rate Map for Sarpy County, Panel 31153C 0205 G, effective December 2, 2005, this property is located in the Zone AE floodplain of the Platte River. The base flood elevation (BFE) determined at this location is 978.3 feet (NAVD 1988).

The District has the following comments based on review of the floodplain development permit application and an elevation certificate prepared by Michael J. Oehme, RLS, dated November 19, 2012:

- The proposed finished floor elevation of the garage addition is 976.1 feet (NAVD 1988) which is below the base flood elevation. A non-conversion agreement must be executed between Sarpy County and the applicant to ensure the space is not converted to living space in the future. The building plans indicate that two flood openings will be constructed within 12 inches of grade on two separate walls as required by Sarpy County Regulations.
- A cost estimate for the construction of the addition must be submitted to determine if the addition would qualify as a substantial improvement (i.e., the cost of the addition is greater than fifty percent of the market value of the structure). If the project is deemed to be a substantial improvement, the entire structure will need to comply with all current Sarpy County floodplain regulations.
- The applicant must submit an elevation certificate upon completion of the project to ensure that the structure is built according to plans.

The District has no objections to this project as planned. If you have any questions or concerns, please contact me at (402) 444-6222 or at [llaster@papionrd.org](mailto:llaster@papionrd.org).

Sincerely,

Lori Ann Laster, CFM  
Stormwater Management Engineer

Cc: Marlin Petermann, Amanda Grint, P-MRNRD



## SARPY COUNTY

Dennis L. Wilson, P.E., PhD  
Sarpy County Engineer

**PUBLIC WORKS DEPARTMENT**  
15100 South 84th Street • Papillion, NE 68046-2895  
Phone (402) 537-6900 • FAX (402) 537-6955 • www.sarpy.com

### MEMO

TO: Bruce Fountain, AICP, EDFP, Director, Planning and Building Dept.

FROM: Patrick M. Dowse, P.E., Engineering Manager *PMO*

DATE: November 26, 2012

RE: Floodplain Development Permit – 2914 Annabelle Drive

Sarpy County Public Works has reviewed the submittal by Cheryl Belz in regards to the November 19, 2012 submittal for a Floodplain Development Permit. After review, Public Works has the following comments:

Public Works would not be opposed to the granting a Floodplain Development Permit insofar as the construction of the proposed garage is constructed in accordance with the floodplain requirements for a non-livable space as the garage Finished Floor Elevation (F.F.E.) is below the 100 year Base Flood Elevation (B.F.E.). The applicant and the applicant's representative appear to have made provisions for materials which are susceptible to moisture, and have required these materials to be installed at minimum of 1.0 feet above the B.F.E. as well as made provisions for drainage in the event of a 100 year flood.

If you have any questions, please feel free to contact me.



# SARPY COUNTY PLANNING

1210 GOLDEN GATE DRIVE PAPIILLION, NE 68046  
PHONE: 402-593-1555 FAX: 402-593-1558 E-MAIL: PLANNING@SARPY.COM

## FLOOD PLAIN DEVELOPMENT PERMIT APPLICATION

In order for your application to be considered **COMPLETE**, please answer all applicable questions and provide the following:

1. Submit complete Flood Plain Development Permit Application
2. Submit Non-Refundable Fee of \$100.00 made payable to Sarpy County Treasurer
3. 2 full size site/construction plan drawing
4. 6 reduced size site/construction plan drawings (8.5 x 11).
5. A Construction Drawing Elevation Certificate (From registered professional engineer or architect.)

### PLANNING STAFF USE ONLY:

APPLICATION NO.: FOP 12-0012  
 DATE RECEIVED: 11/19/12  
 CP DESIGNATION: Urban Residential  
 ZONING DESIGNATION: RD-SDFP  
 FEE: \$ 100. RECEIPT NO. \_\_\_\_\_  
 RECEIVED BY: DF  
 NOTES: \_\_\_\_\_

11-19-12P01:54 DF

### PROPERTY OWNER INFORMATION: (If multiple owners, attach separate sheet)

Please check box if attaching separate sheet with owner information.

NAME: Cheryl Belz E-MAIL: cibelz@aol.com  
 ADDRESS: 2914 Annabelle Dr. CITY/STATE/ZIP: Bellevue, NE 68123  
 MAILING (IF DIFFERENT) ADDRESS: \_\_\_\_\_ CITY/STATE/ZIP: \_\_\_\_\_  
 PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_

### ENGINEER INFORMATION:

NAME: Michael Oehme - Boundaryline Surveys E-MAIL: drafting@boundarylinesurveys.com  
 ADDRESS: 13514 Discovery Dr. CITY/STATE/ZIP: Omaha, NE 68137  
 MAILING (IF DIFFERENT) ADDRESS: \_\_\_\_\_ CITY/STATE/ZIP: \_\_\_\_\_  
 PHONE: \_\_\_\_\_ FAX: \_\_\_\_\_

### CONSTRUCTION INFORMATION: This individual/company is responsible for meeting construction standards.

NAME: Precision Enterprises, Inc. E-MAIL: lane@precisionenterprise.com  
 ADDRESS: 13951 Valley Ridge Dr. CITY/STATE/ZIP: Omaha, NE 68138  
 PHONE: 402-592-3323 FAX: 402-592-2827

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

## SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name Cheryl L. Belz & Mary E. Naprstek	For Insurance Company Use:
	Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2914 Annabelle Drive	Company NAIC Number

City Bellevue State NE ZIP Code 68123

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)  
Lot 21, Chris Lake, a surveyed, platted and recorded subdivision in Sarpy County, Nebraska.

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Residential

A5. Latitude/Longitude: Lat 41 03' 52.8" Long 95 57' 21.7"

Horizontal Datum:  NAD 1927  NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1A

A8. For a building with a crawlspace or enclosure(s):

- a) Square footage of crawlspace or enclosure(s) \_\_\_\_\_ sq ft
- b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade \_\_\_\_\_
- c) Total net area of flood openings in A8.b \_\_\_\_\_ sq in
- d) Engineered flood openings?  Yes  No

A9. For a building with an attached garage:

- a) Square footage of attached garage \_\_\_\_\_ sq ft
- b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade \_\_\_\_\_
- c) Total net area of flood openings in A9.b \_\_\_\_\_ sq in
- d) Engineered flood openings?  Yes  No

## SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number City of Bellevue 310190		B2. County Name Sarpy		B3. State NE	
B4. Map/Panel Number 31153C0205	B5. Suffix G	B6. FIRM Index Date 12-02-2005	B7. FIRM Panel Effective/Revised Date 12-02-2005	B8. Flood Zone(s) "AE"	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 978.3

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.

- FIS Profile  FIRM  Community Determined  Other (Describe) \_\_\_\_\_

B11. Indicate elevation datum used for BFE in Item B9:  NGVD 1929  NAVD 1988  Other (Describe) \_\_\_\_\_

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)?  Yes  No.  
Designation Date \_\_\_\_\_  CBRS  OPA

## SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction

\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.

Benchmark Utilized Previously established Vertical Datum NAVD 1988

Conversion/Comments \_\_\_\_\_

Check the measurement used.

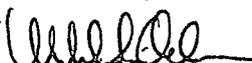
- a) Top of bottom floor (including basement, crawlspace, or enclosure floor) 976.4  feet  meters (Puerto Rico only)
- b) Top of the next higher floor \_\_\_\_\_  feet  meters (Puerto Rico only)
- c) Bottom of the lowest horizontal structural member (V Zones only) \_\_\_\_\_  feet  meters (Puerto Rico only)
- d) Attached garage (top of slab) 976.1  feet  meters (Puerto Rico only)
- e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) 976.4  feet  meters (Puerto Rico only)
- f) Lowest adjacent (finished) grade next to building (LAG) 975.4  feet  meters (Puerto Rico only)
- g) Highest adjacent (finished) grade next to building (HAG) 976.1  feet  meters (Puerto Rico only)
- h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support \_\_\_\_\_  feet  meters (Puerto Rico only)

## SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available.

understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No

Certifier's Name Michael J. Oehme	License Number LS-532
Title Land Surveyor	Company Name Boundaryline Surveys
Address 13514 Discovery Drive	City Omaha State NE ZIP Code 68137
Signature 	Date Nov. 19, 2012 Telephone (402) 334-2032



<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2914 Annabelle Drive	Policy Number
City Bellevue State NE ZIP Code 68123	Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner:

Comments  
Item C2(e) - Typical HVAC and water heater equipment

Water elevation of lake on 11-16-12 - 962.4

Signature  Date 11-19-12  Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).  
 a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.  
 b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name \_\_\_\_\_

Address _____	City _____	State _____	ZIP Code _____
Signature _____	Date _____	Telephone _____	
Comments _____			

Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
-------------------------	------------------------------	---

- G7. This permit has been issued for:  New Construction  Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_
- G10. Community's design flood elevation \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

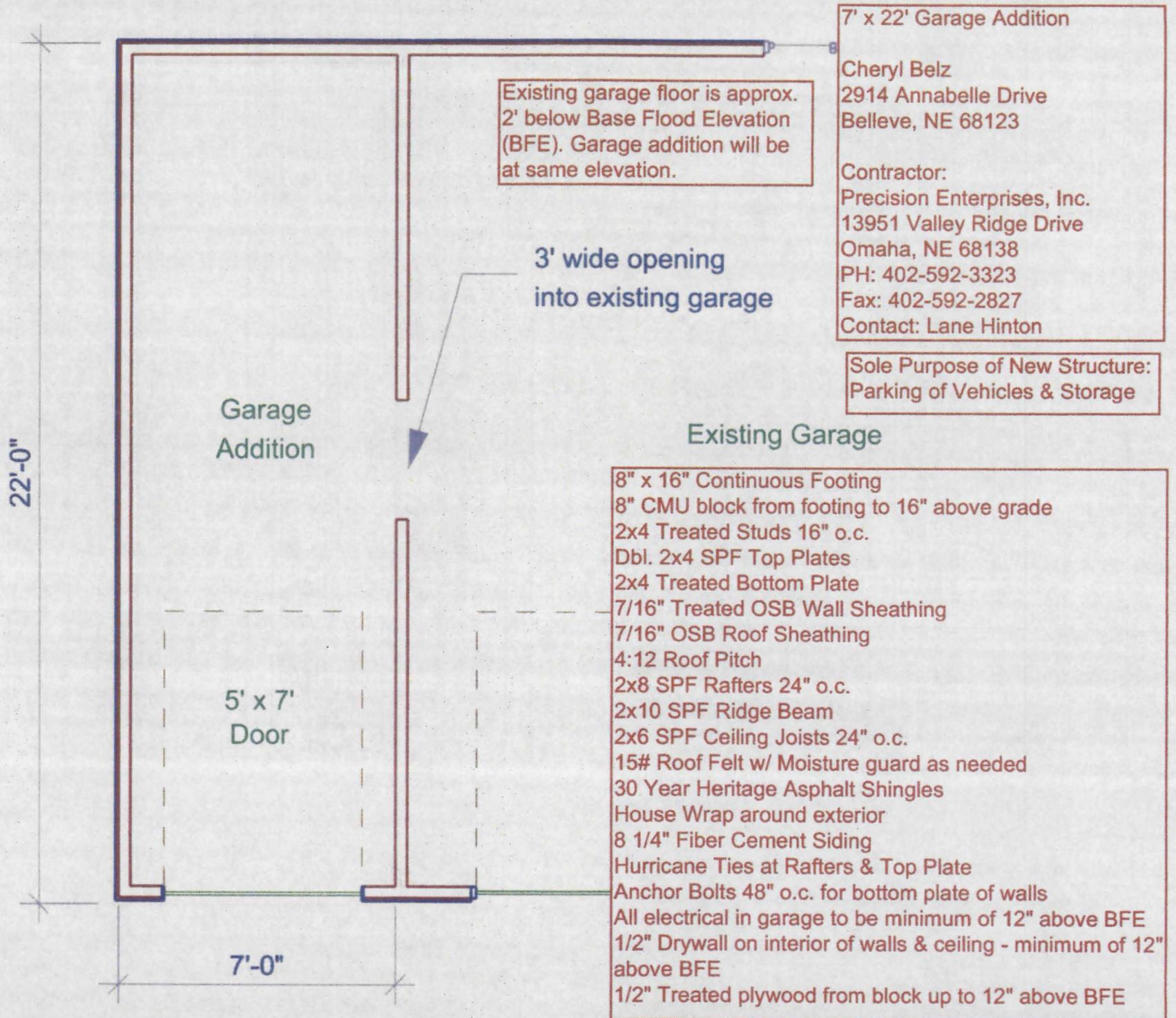
Local Official's Name _____	Title _____
Community Name _____	Telephone _____
Signature _____	Date _____
Comments _____	

Check here if attachments

# Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.	For Insurance Company Use:
City            State            ZIP Code	Policy Number
If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following.	Company NAIC Number



Base Flood Elevation (B.F.E.)  
approximately 2' below existing  
garage floor

8" x 16" Continuous Footing  
8" CMU block from footing to 12" above B.F.E.  
2x4 SPF Studs 16" o.c.  
Dbl. 2x4 SPF Top Plates  
2x4 Treated Bottom Plate  
7/16" OSB Wall & Roof Sheathing  
4:12 Roof Pitch  
2x8 SPF Rafters 24" o.c.  
2x10 SPF Ridge Beam  
2x6 SPF Ceiling Joists 24" o.c.  
15# Roof Felt w/ Moisture guard as needed  
30 Year Heritage Asphalt Shingles  
House Wrap around exterior  
8 1/4" Fiber Cement Siding  
Hurricane Ties at Rafters & Top Plate  
Anchor Bolts 48" o.c. for bottom plate of walls  
1/2" Drywall on Ceiling & Walls down to block  
Electrical to be minimum 12" above B.F.E

Existing Garage

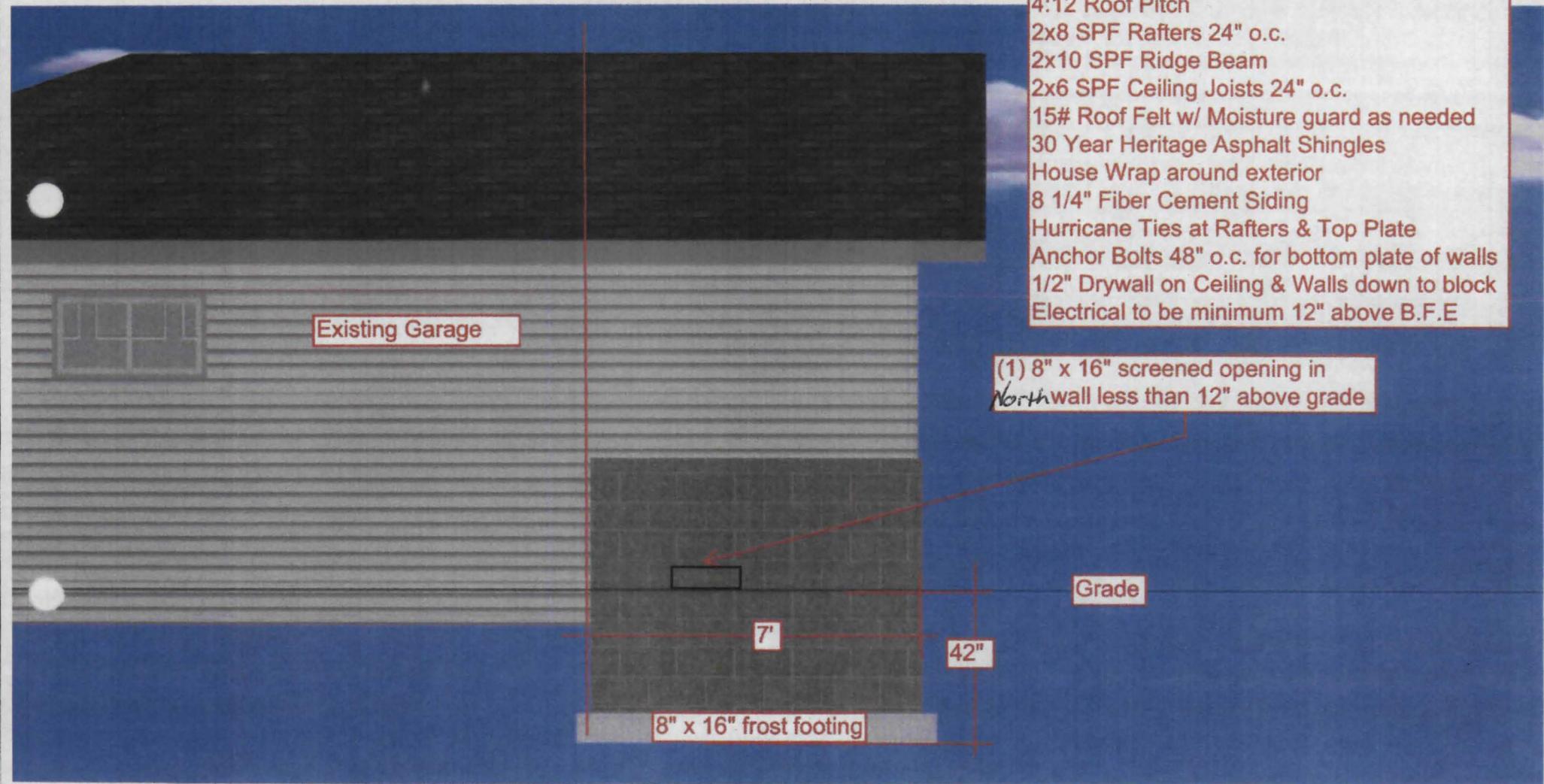
(1) 8" x 16" screened opening in  
North wall less than 12" above grade

Grade

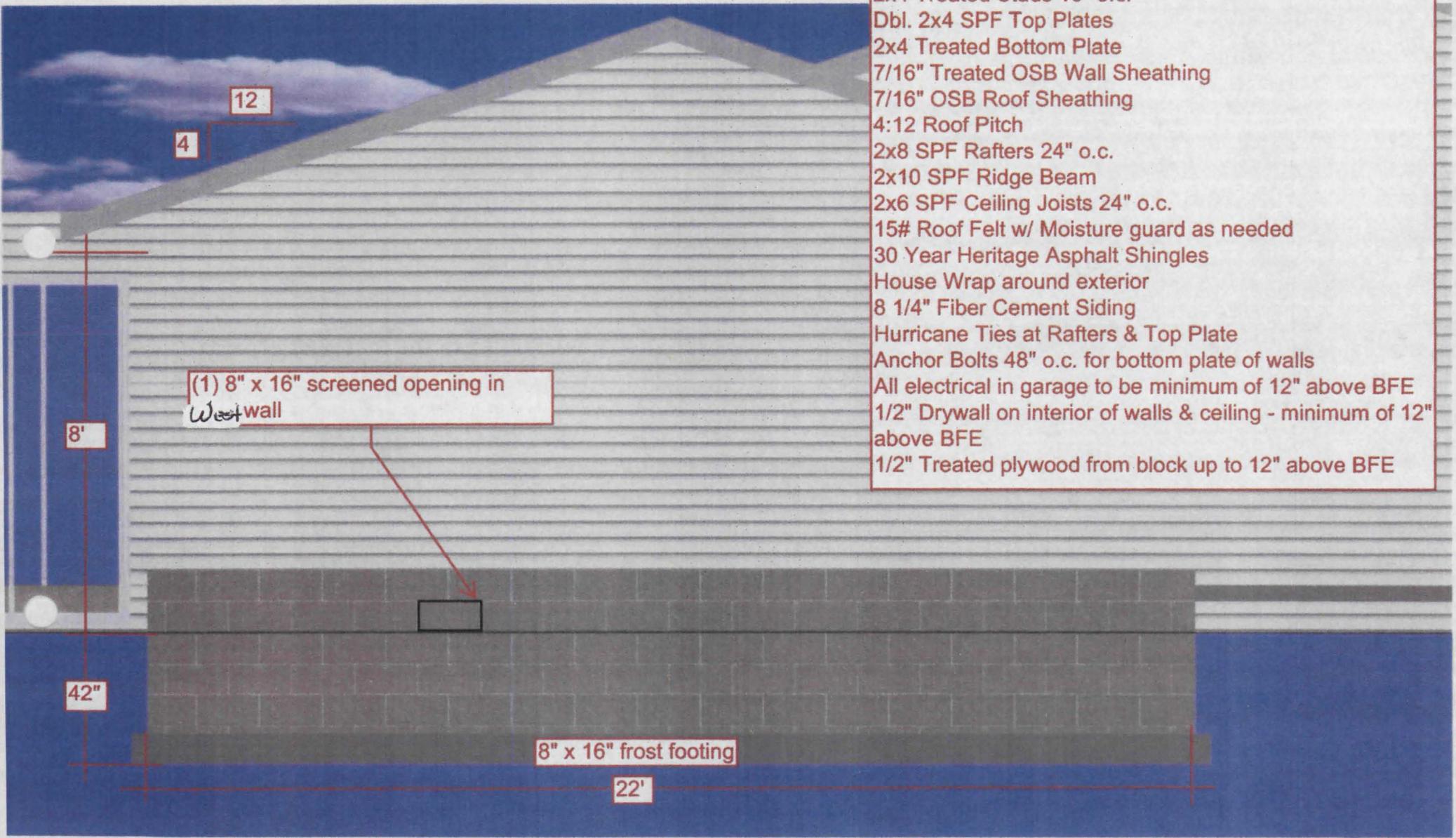
7'

42"

8" x 16" frost footing



- 8" x 16" Continuous Footing
- 8" CMU block from footing to 16" above grade
- 2x4 Treated Studs 16" o.c.
- Dbl. 2x4 SPF Top Plates
- 2x4 Treated Bottom Plate
- 7/16" Treated OSB Wall Sheathing
- 7/16" OSB Roof Sheathing
- 4:12 Roof Pitch
- 2x8 SPF Rafters 24" o.c.
- 2x10 SPF Ridge Beam
- 2x6 SPF Ceiling Joists 24" o.c.
- 15# Roof Felt w/ Moisture guard as needed
- 30 Year Heritage Asphalt Shingles
- House Wrap around exterior
- 8 1/4" Fiber Cement Siding
- Hurricane Ties at Rafters & Top Plate
- Anchor Bolts 48" o.c. for bottom plate of walls
- All electrical in garage to be minimum of 12" above BFE
- 1/2" Drywall on interior of walls & ceiling - minimum of 12" above BFE
- 1/2" Treated plywood from block up to 12" above BFE



(1) 8" x 16" screened opening in West wall

8'

12

4

42"

8" x 16" frost footing

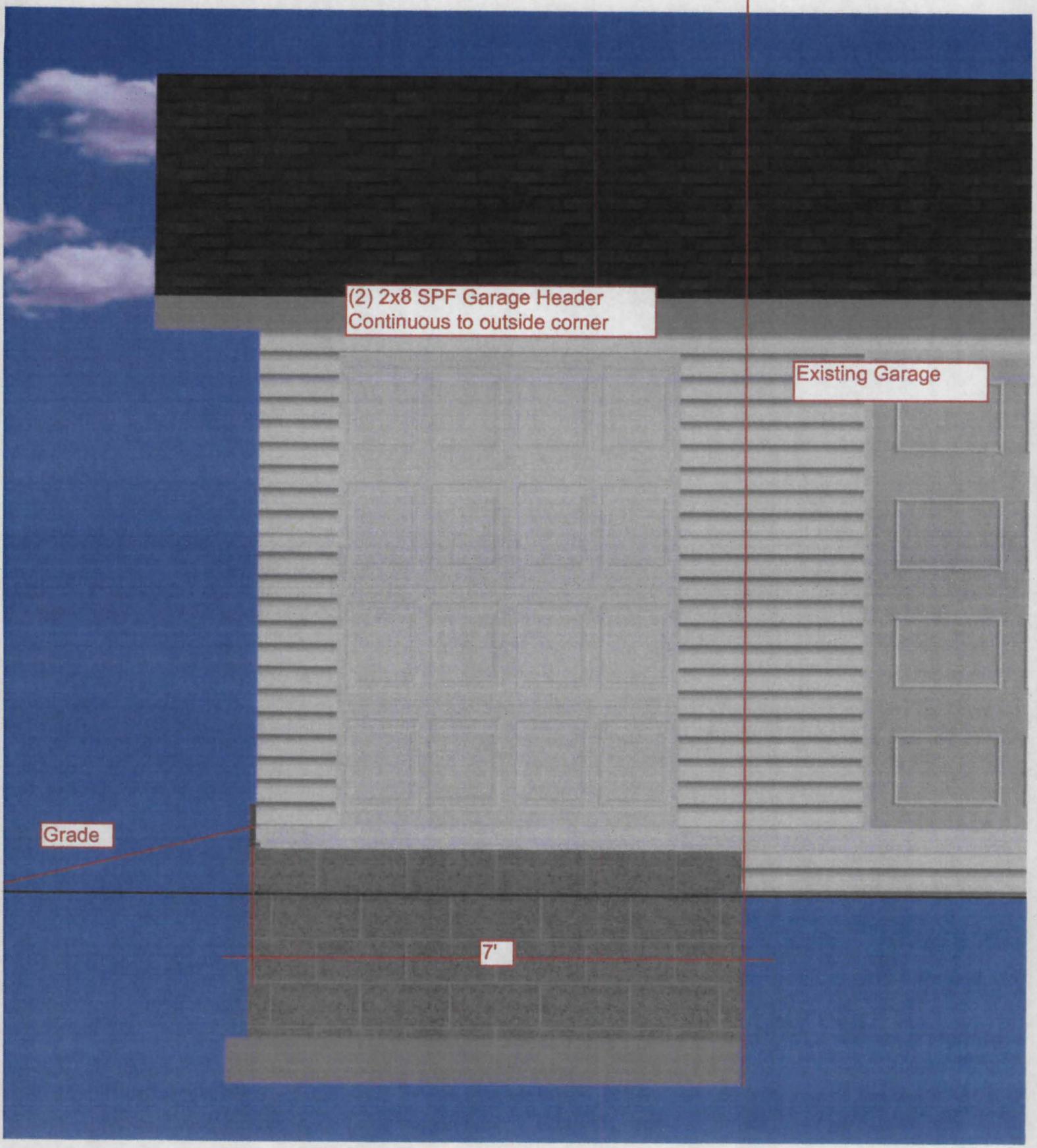
22'

(2) 2x8 SPF Garage Header  
Continuous to outside corner

Existing Garage

Grade

7'



DATE: 9/12/2008



Omaha, Nebraska 68137

Phone: 402-334-2032

FOR: Cheryl Belz  
2914 Annabelle Drive  
Bellevue, NE

PREPARED FOR: Jill

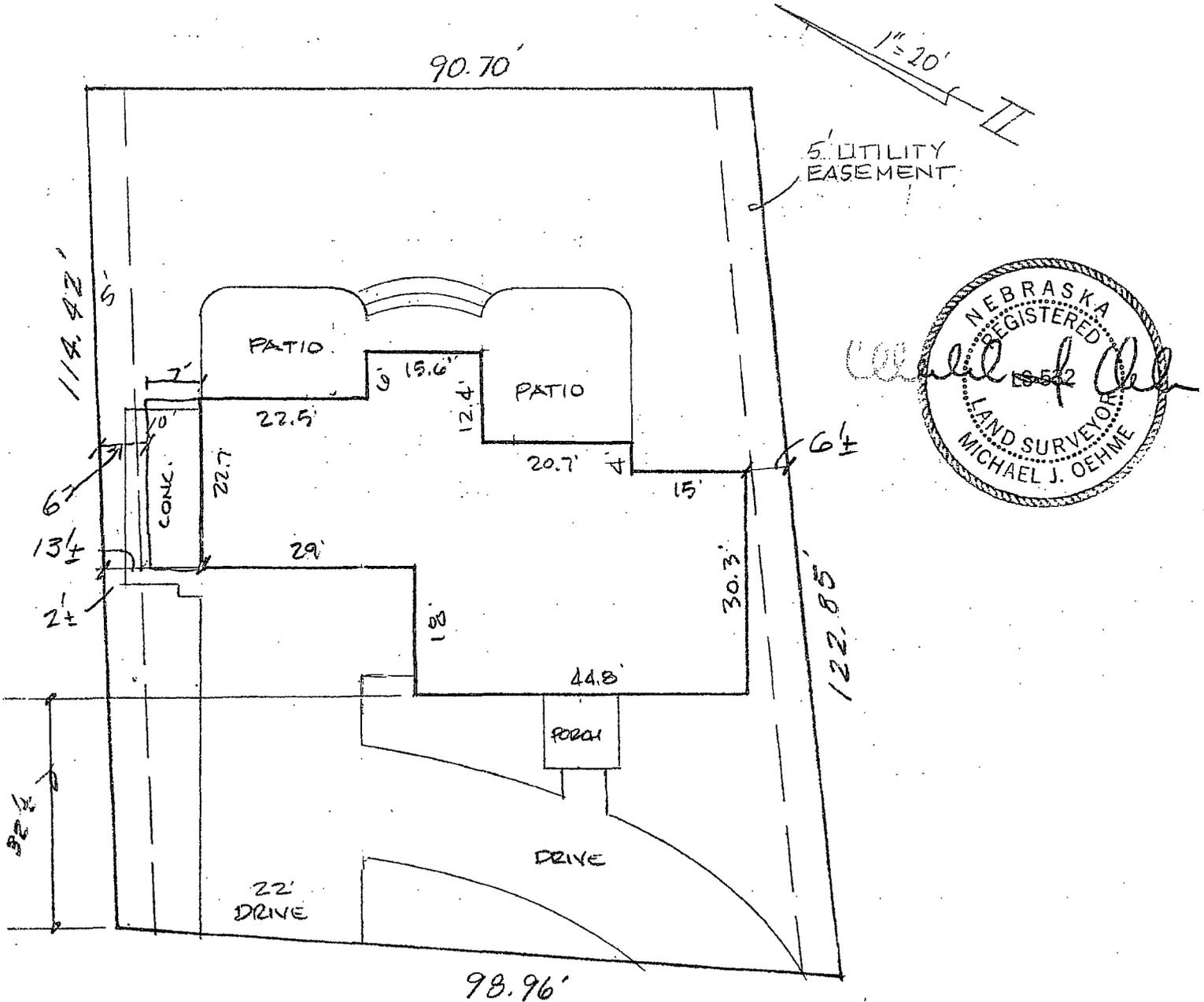
Residential Mortgage Services  
4005 Twin Creek Drive  
Suite 103  
Bellevue, NE 68123

LEGAL DESCRIPTION:

Lot 21, Chris Lake, a Subdivision

AS SURVEYED, PLATTED AND RECORDED IN Sarpy

COUNTY, STATE OF NEBRASKA



ANNABELLE DRIVE R/W 25'

THIS PROPERTY APPEARS TO  
BE LOCATED IN FLOOD ZONE AE,  
PER FIRM COMMUNITY PANEL  
NO. 31153C0205G, DATED 12-2-05.