

BOARD OF COUNTY COMMISSIONERS SARPY COUNTY, NEBRASKA**RESOLUTION FLOOD PLAIN DEVELOPMENT****Larry Lamberty, 2209 La Platte Road Bellevue, NE**

WHEREAS, pursuant to Neb. Rev. Stat. § 23-104 (Reissue 2007), the County has the power to do all acts in relation to the concerns of the County necessary to the exercise of its corporate powers; and,

WHEREAS, pursuant to Neb. Rev. Stat. § 23-103 (Reissue 2007), the powers of the County as a body are exercised by the County Board; and,

WHEREAS, the County Board of Commissioners has the authority to adopt a Zoning Regulation, which shall have the force and effect of law pursuant to Neb. Rev. Stat. § 23-114 (Reissue 2007); and,

WHEREAS, said Zoning Regulations require the County Board of Commissioners to approve applications for development permits within any Flood Plain District; and

WHEREAS, Bruce Fountain, Planning Director has reviewed Larry Lamberty's application for a Flood Plain Development Permit for compliance with the Zoning Regulations on the property legally described in the attached Exhibit A; and,

WHEREAS, said application is in compliance with Section 30, Flood Plain District of Zoning Regulations and further, the Natural Resources District has no objection to the development permit; and,

WHEREAS, the Planning Director has made a recommendation of approval as noted in the attached Exhibit A, which Exhibit A includes the Planning Director report, the elevation certificate, the Natural Resources District comments, and the site plan of the subject property.

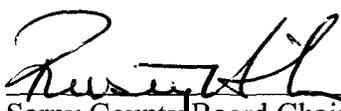
NOW, THEREFORE, BE IT RESOLVED BY THE SARPY COUNTY BOARD OF COMMISSIONERS THAT the Flood Plain Development Permit Application for the property legally described in the attached Exhibit A is hereby approved with a condition that upon completion of construction, a revised elevation certificate be submitted to the Sarpy County Planning Department and Sarpy County Clerk to verify the structure was built according to the plans submitted in the application.

The above Resolution was approved by a vote of the Sarpy County Board of Commissioners at a public meeting duly held in accordance with applicable law on the 4th day of December, 2012.

Attest

SEAL




Sarpy County Board Chairman

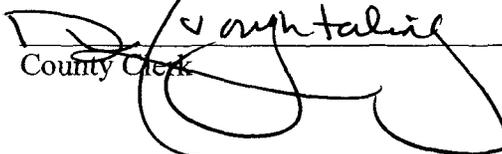

County Clerk

EXHIBIT A

Sarpy County Board of Commissioners Report
Staff Report Prepared: November 27, 2012
County Board Date: December 4, 2012

Subject	Type	By
Floodplain Development Permit for addition of 255 square feet of finished living space with a 42 inch crawl space below to an existing residential structure— Lot 21, Hanson's Lake (Larry Lamberty - 2209 La Platte Road, Bellevue, NE)	Resolution	Bruce Fountain, AICP, EDFP Planning Director.

➤ **Application Overview**

- This is a request for the approval of a floodplain development permit (FDP) for the site legally described as Lot 21, Hanson's Lake (2209 La Platte Road, Bellevue, NE). The FDP application is for construction of a 255 square foot addition with a 42" crawl space foundation to an existing residential structure.
- The lowest floor elevation of the existing structure is approximately 9.1 feet above the Base Flood Elevation (BFE) and the proposed addition will be at the same elevation as the existing structure.

➤ **Comprehensive Development Plan**

- The Sarpy County Comprehensive Plan (Development Structure Plan – Figure 5.1) indicates this area as Urban Residential.

➤ **Zoning / Floodplain Regulations**

- The area is zoned RD-50 FP (Two-Family Residential District – Flood Plain)
- The property is partially located in an AE Floodplain Zone adjacent to Hanson's Lake. (see attached map).
- The BFE (Base Flood Elevation) determined at this location is 976 feet (NAVD 1988).
- According to the elevation certificate provided, the proposed addition's finished floor elevation will be 988.508 feet (NAVD 1988) and the elevation of the bottom floor (crawl space) will be at 985.108 feet (NAVD 1988), which is above the BFE.
- The new construction must meet the minimum setback and zoning requirements at the time of building permit application.
- The request as submitted is in conformance with the Sarpy County Floodplain regulations.

➤ **Natural Resources District**

- The Papio Missouri River Natural Resources District (NRD) has no objections to the proposed project construction provided it meets the conditions outlined above and in their attached letter.

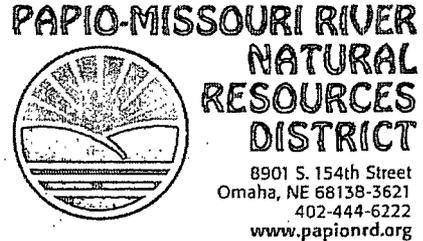
➤ **Recommendation**

- For the reasons stated above, staff recommends the permit be approved for the addition of 255 square feet of finish living space with 42 inch crawl space foundation to the existing residential structure at this location.

Respectfully submitted by:
Bruce Fountain, AICP, EDFP
Planning Director

November 28, 2012

Bruce Fountain, Director
Sarpy County Planning Department
1210 Golden Gate Drive
Papillion, NE 68046



RE: 2209 LaPlatte Road Application for Flood Plain Development Permit

Dear Mr. Fountain:

The District received information concerning the proposed construction of an addition to an existing residence at 2209 LaPlatte Road in Hanson's Lake in Bellevue, Nebraska. According to the Flood Insurance Rate Map for Sarpy County, Panel 31153C 0205 G, effective December 2, 2005, this property is located in the Zone AE floodplain of the Platte River. The base flood elevation (BFE) determined at this location is 976.0 feet (NAVD 1988).

The District has the following comments based on review of the floodplain development permit application and an elevation certificate prepared by Clarence Roger Carrell, RLS, dated November 28, 2012:

- The proposed finished floor elevation of the addition is 988.5 feet (NAVD 1988) which is at least one foot above the base flood elevation.
- The floor elevation of the crawl space below the addition is 985.1 feet (NAVD 1988) which is at least one foot above the base flood elevation.
- The applicant must submit an elevation certificate upon completion of the project to ensure that the structure is built according to plans.

The District has no objections to this project as planned. If you have any questions or concerns, please contact me at (402) 444-6222 or at llaster@papionrd.org.

Sincerely,

Lori Ann Laster, CFM
Stormwater Management Engineer

Cc: Marlin Petermann, Amanda Grint, P-MRNRD

\\laster\Documents\Floodplain Development Permits\Plat 865\121128-2209 LaPlatte Rd.docx
Project: 534 Plat: 865

Donna Lynam

From: Pat Dowse
Sent: Monday, November 26, 2012 7:39 AM
To: Donna Lynam
Cc: Denny Wilson
Subject: RE: Review/Comment Request for Lamberty Floodplain Development Permit - 2209 La Platte Road

Good Morning Donna,

Denny nor I have any notable comments at this time in regards to the above mentioned permit application.

Thanks,
Patrick M. Dowse, P.E.
Engineering Manager
Sarpy County Public Works
15100 South 84th Street
Papillion, NE 68046-4627

Office: 402-537-6900
Direct: 402-537-6917
Fax: 402-537-6955

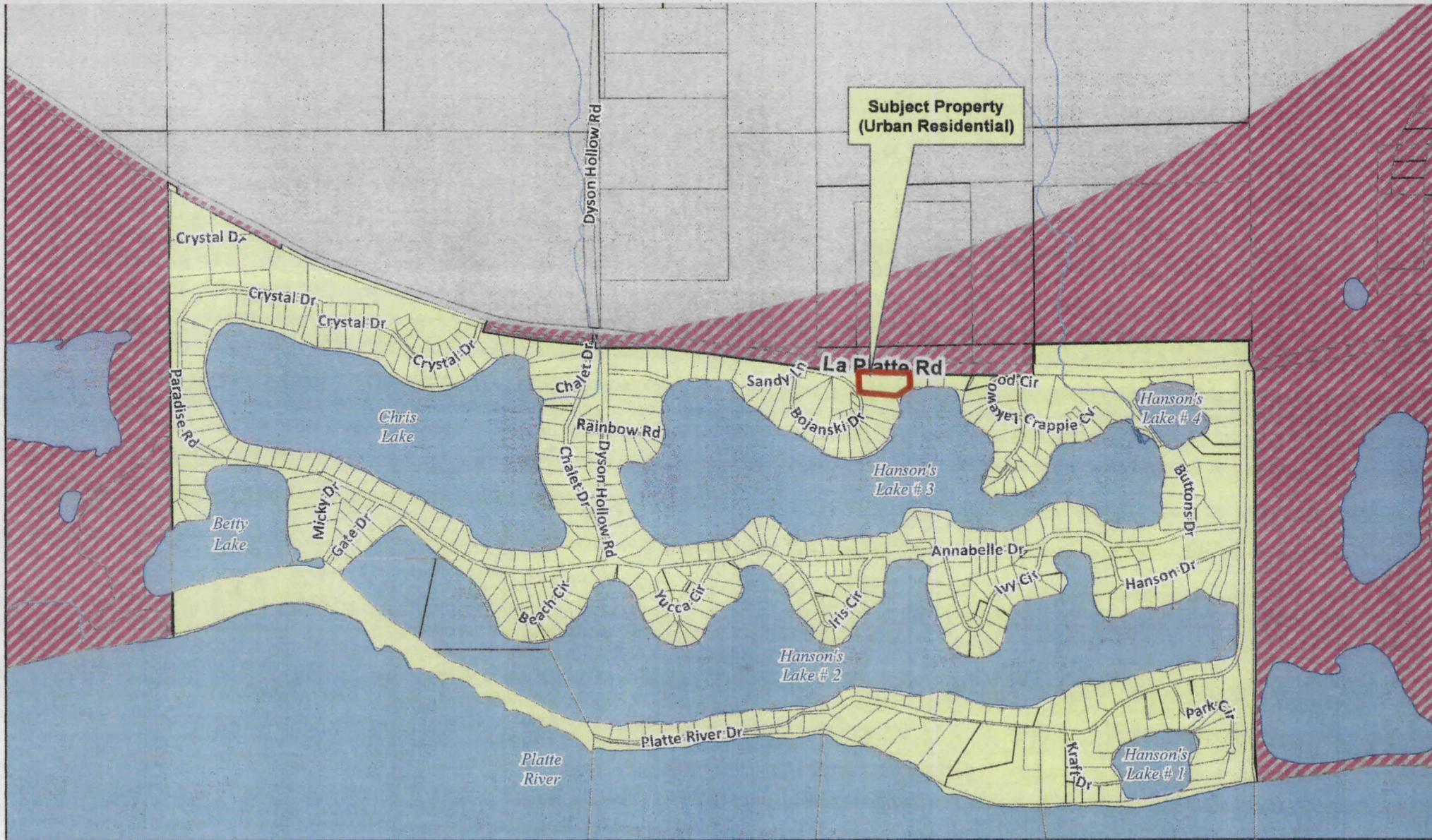
From: Donna Lynam
Sent: Wednesday, November 21, 2012 4:09 PM
To: llaster@pacionrd.org; Grint, Amanda; Mark Wayne; Scott Bovick; Denny Wilson; Pat Dowse; Nicole O'Keefe; Chris Shewchuk; Nikki Lampe
Cc: Bruce Fountain
Subject: Review/Comment Request for Lamberty Floodplain Development Permit - 2209 La Platte Road

Attached is a Floodplain Development Permit Application submitted by Larry Lamberty and Ambassador Home Repair Inc. for a 255 square foot addition with a crawl space below at 2209 La Platte Road in the Hanson's Lakes area. The application proposes that the lowest finished floor of the addition (not including 42" high crawl space) will be at the same elevation as the existing structure which is one foot above the BFE. Please see attached "as built" elevation survey verifying that the existing lowest finished floor (basement) of the structure is at 978.2. This application is slated for the **December 4th County Board meeting**, therefore we need to have any **comments back no later than Wednesday, November 28th at noon** in order to complete our staff report and recommendation.

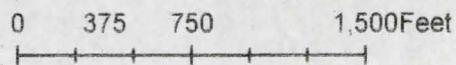
Thank you,

Donna

Donna Lynam
Zoning Administrator/Code Enforcement
Sarpy County, Nebraska
1210 Golden Gate Dr.
Papillion, NE 68046



Current FLU - Sarpy Co



2209 La Platte Rd - Flood Plain Development

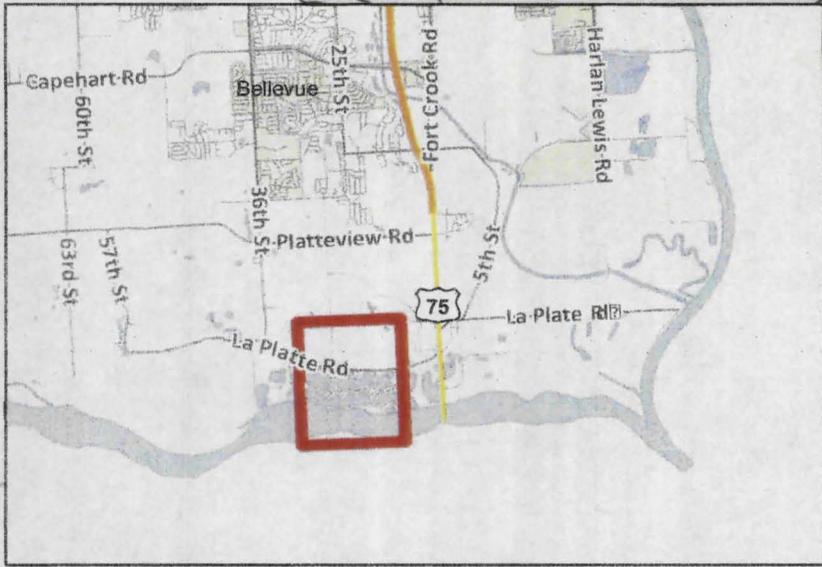
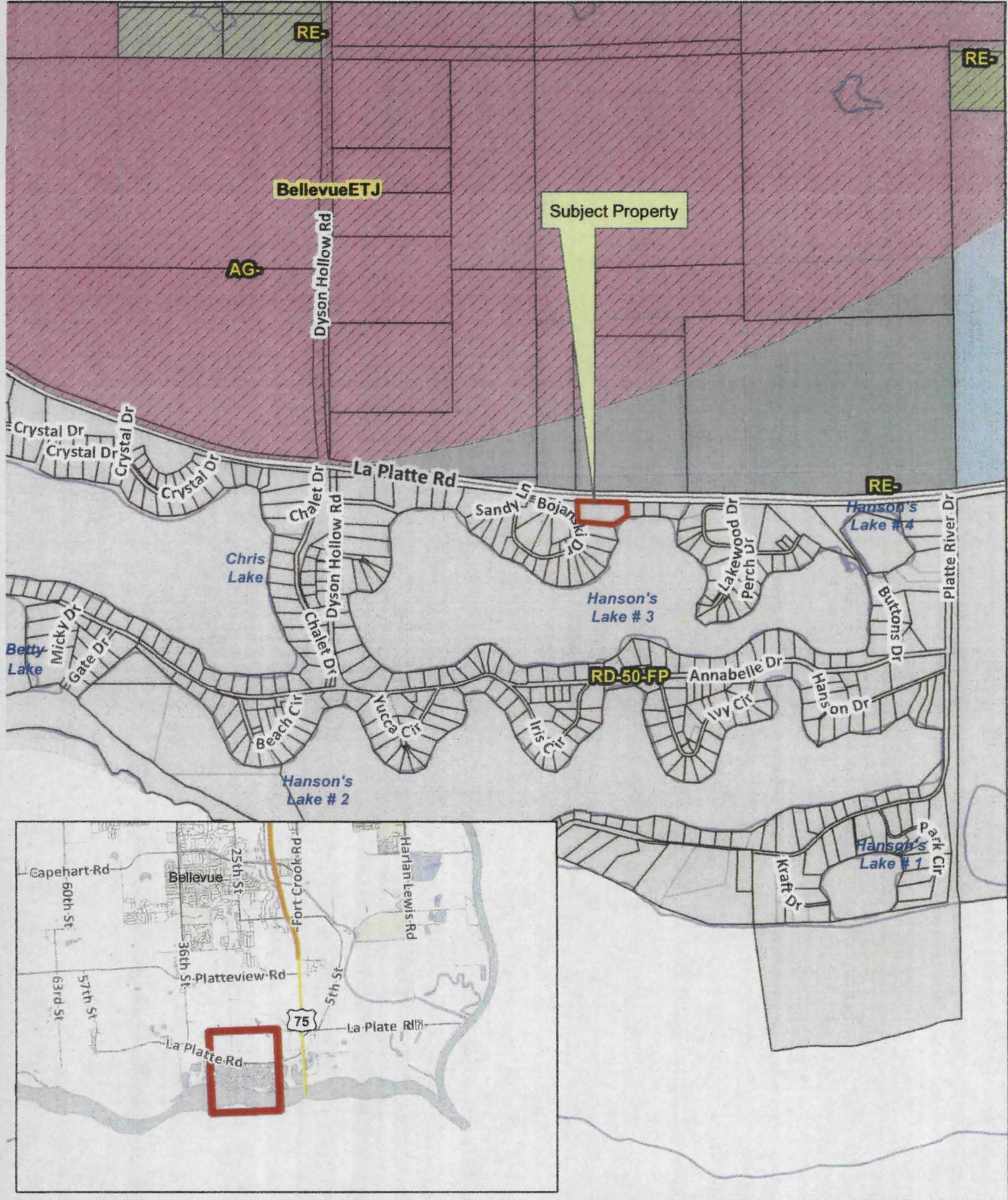
Comprehensive Development Plan
Figure 5.1: Development Structure Plan
 Sarpy County, Nebraska

Legend					
	features.GIS.HighwayCorridorOverlay		Long Term Residential Growth		Cross County Arterial
	Bellevue Future Growth		Mixed Use		City Limit
	Business Park		Mixed Use Center		City ETJ
	Civic		New Richfield Village		
	Conservation Residential		Park/School Site		
	Estate Residential		Pflug Interchange Development		
	Greenway		Residential - Community Systems		
	Industrial		Urban Residential		
	Light Industrial/Storage		Urban Residential II		



Vicinity Map - Flood Zones
 2209 La Platte Rd, Lot 21 Hanson's Lake
 Flood Plain Development Permit





Vicinity Map - Zoning
 2209 La Platte Rd - Lot 21 Hanson's Lake
 Flood Plain Development





SARPY COUNTY PLANNING

1210 GOLDEN GATE DRIVE PAPTLLION, NE 68046
PHONE: 402.593.1555 FAX: 402.593.1558 E-MAIL: PLANNING@SARPY.COM

FLOOD PLAIN DEVELOPMENT PERMIT APPLICATION

In order for your application to be considered **COMPLETE**, please answer all applicable questions and provide the following:

1. Submit complete Flood Plain Development Permit Application
2. Submit Non-Refundable Fee of \$100.00 made payable to Sarpy County Treasurer
3. 2 full size site/construction plan drawing
4. 6 reduced size site/construction plan drawings (8.5 x 11)
5. A Construction Drawing Elevation Certificate (From registered professional engineer or architect.)

PLANNING STAFF USE ONLY:

APPLICATION NO.: _____
 DATE RECEIVED: _____
 CP DESIGNATION: _____
 ZONING DESIGNATION: _____
 FEE: \$ _____ RECEIPT NO. _____
 RECEIVED BY: _____
 NOTES: _____

PROPERTY OWNER INFORMATION: (If multiple owners, attach separate sheet)

Please check box if attaching separate sheet with owner information.

NAME: Harvey Lamberty

E-MAIL: _____

ADDRESS: 2209 LA PLATTE Rd

CITY/STATE/ZIP: BELLEVUE NEBR. 68123

MAILING (IF DIFFERENT)
ADDRESS: _____

CITY/STATE/ZIP: _____

PHONE: (402) 556-2573
(402) 995-6078

FAX: _____

ENGINEER INFORMATION:

NAME: CARRELL & ASSOCIATES

E-MAIL: _____

ADDRESS: 5004 S 110th ST

CITY/STATE/ZIP: OMAHA, NEBR. 68137

MAILING (IF DIFFERENT)
ADDRESS: _____

CITY/STATE/ZIP: _____

PHONE: (402) 331-2833

FAX: (402) 331-6077

CONSTRUCTION INFORMATION: This individual/company is responsible for meeting construction standards.

NAME: AMBASSADOR HOME IMP.

E-MAIL: Remodel Omaha & Co. net

ADDRESS: 18067 ASHLEY LAKE

CITY/STATE/ZIP: Council Bluffs, Iowa 51503

PHONE: (402) 556-2573

FAX: (712) 256-3542

PROPOSED DEVELOPMENT INFORMATION: (Describe the project in detail, including physical features of the site, proposed improvements, proposed uses or business, operating hours, number of employees, anticipated customers, etc. - Attach additional sheets if necessary.) PLEASE NOTE: A detailed project description is essential to the reviewing process of this request.

WE ARE ADDING ON AN ADA BATHROOM ADDITION WITH CRAWL SPACE BENEATH, BATHROOM ELEVATION WILL MATCH EXISTING UPPER LEVEL ELEVATION w/ NO BASEMENT.

PROJECT SITE INFORMATION: Complete each section in its entirety. If a question is not applicable to your project, please indicate this to show that each question has been carefully considered.

PROPERTY ADDRESS: 2209 LAPIATTE Rd
ASSESSORS PARCEL NUMBER(S): 010753583
SUB DIVISION: Hansons Lakes LOT: 21
NAME OF WATERWAY: Hanson Lake
PROPERTY LIES WITHIN: FLOODWAY: FLOOD FRINGE:
LOWEST FLOOR ELEVATION IS TO BE FEET ABOVE MEAN SEA LEVEL. (Including Basement)

LEGAL DESCRIPTION: (Describe property to wit.)
Hansons Lakes Lot 21

ADDITIONAL INFORMATION: Please use this space to provide any other information you feel is appropriate for the County to consider during review of your application. Attach extra sheets if necessary.
the majority of the home is IN the X ZONE, the new proposed addition is entirely IN the X ZONE.

PLEASE NOTE THE FOLLOWING PROCEDURES:

1. County Board will hold a public hearing and make a final decision on the Flood Plain Development Permit.
2. After the Flood Plain Permit Approval please provide a signed resolution to the Building Department to begin the Building Permit Process. PLEASE NOTE prior to the final inspection a Finished Construction Elevation Certificate will be required by the Building Department.

I, the undersigned, understand a sign will be posted on my property and will remain until the public hearing process of the Planning Commission and County Board is complete. I further understand the Special Use Permit process as stated above and I authorize County Staff to enter the property for inspection related to the specific request during this process.

[Signature]
Owner Signature (or authorized agent)

11/16/2012
Date

Owner Signature (or authorized agent)

Date

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use
A1. Building Owner's Name ELAINE J LAMBERTY	Policy Number	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2209 LAPLATTE ROAD	Company NAIC Number	
City BELLEVUE State NE ZIP Code 68123		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 21, HANSON'S LAKE, TAX PARCEL NUMBER 010753583		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL		
A5. Latitude/Longitude: Lat. 41.0867 Long. -95.9456 Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983		
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number 9		
A8. For a building with a crawlspace or enclosure(s):		A9. For a building with an attached garage:
a) Square footage of crawlspace or enclosure(s) _____ sq ft		a) Square footage of attached garage _____ sq ft
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade _____		b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade _____
c) Total net area of flood openings in A8.b _____ sq in		c) Total net area of flood openings in A9.b _____ sq in
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number SARPY COUNTY 310190		B2. County Name SARPY COUNTY	B3. State NEBRASKA
B4. Map/Panel Number 31153C0205	B5. Suffix G	B6. FIRM Index Date	B7. FIRM Panel Effective/Revised Date 12/2/05
		B8. Flood Zone(s) X/AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 975.00
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____			
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____			
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA			

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.
Benchmark Utilized **MJ0828** Vertical Datum **1988**
Conversion/Comments _____

Check the measurement used.

a) Top of bottom floor (including basement, crawlspace, or enclosure floor) **985.108** feet meters (Puerto Rico only)

b) Top of the next higher floor **988.508** feet meters (Puerto Rico only)

c) Bottom of the lowest horizontal structural member (V Zones only) _____ feet meters (Puerto Rico only)

d) Attached garage (top of slab) _____ feet meters (Puerto Rico only)

e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) **978.508** feet meters (Puerto Rico only)

f) Lowest adjacent (finished) grade next to building (LAG) _____ feet meters (Puerto Rico only)

g) Highest adjacent (finished) grade next to building (HAG) _____ feet meters (Puerto Rico only)

h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support _____ feet meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

Certifier's Name CLARENCE ROGER CARRELL	License Number 306
Title LAND SURVEYOR	Company Name CARRELL & ASSOCIATES
Address 6640 SOUTH 91ST STREET	City OMAHA State NE ZIP Code 68127
Signature	Date 11/28/12 Telephone 402-331-2333



IMPORTANT: In these spaces, copy the corresponding information from Section A.	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2209 LAPLATTE ROAD	Policy Number
City BELLEVUE State NE ZIP Code 68123	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments

Signature _____ Date _____

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name _____

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
-------------------------	------------------------------	---

- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____
- G10. Community's design flood elevation _____ feet meters (PR) Datum _____

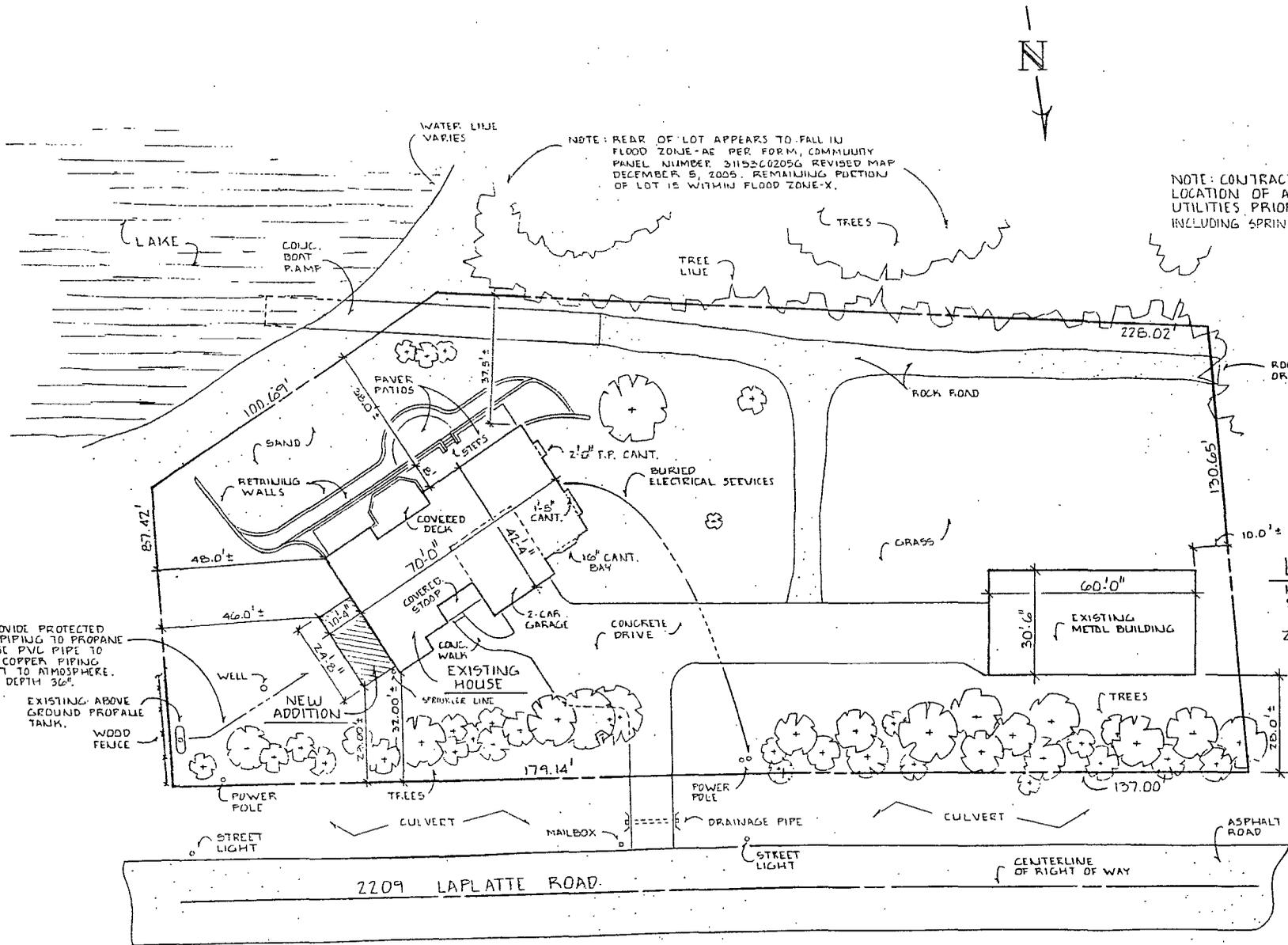
Local Official's Name _____ Title _____

Community Name _____ Telephone _____

Signature _____ Date _____

Comments

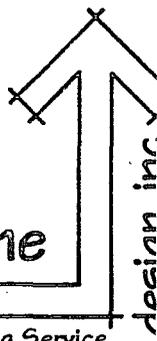
Check here if attachments



SITE PLAN

1" = 20' 0"

straightline



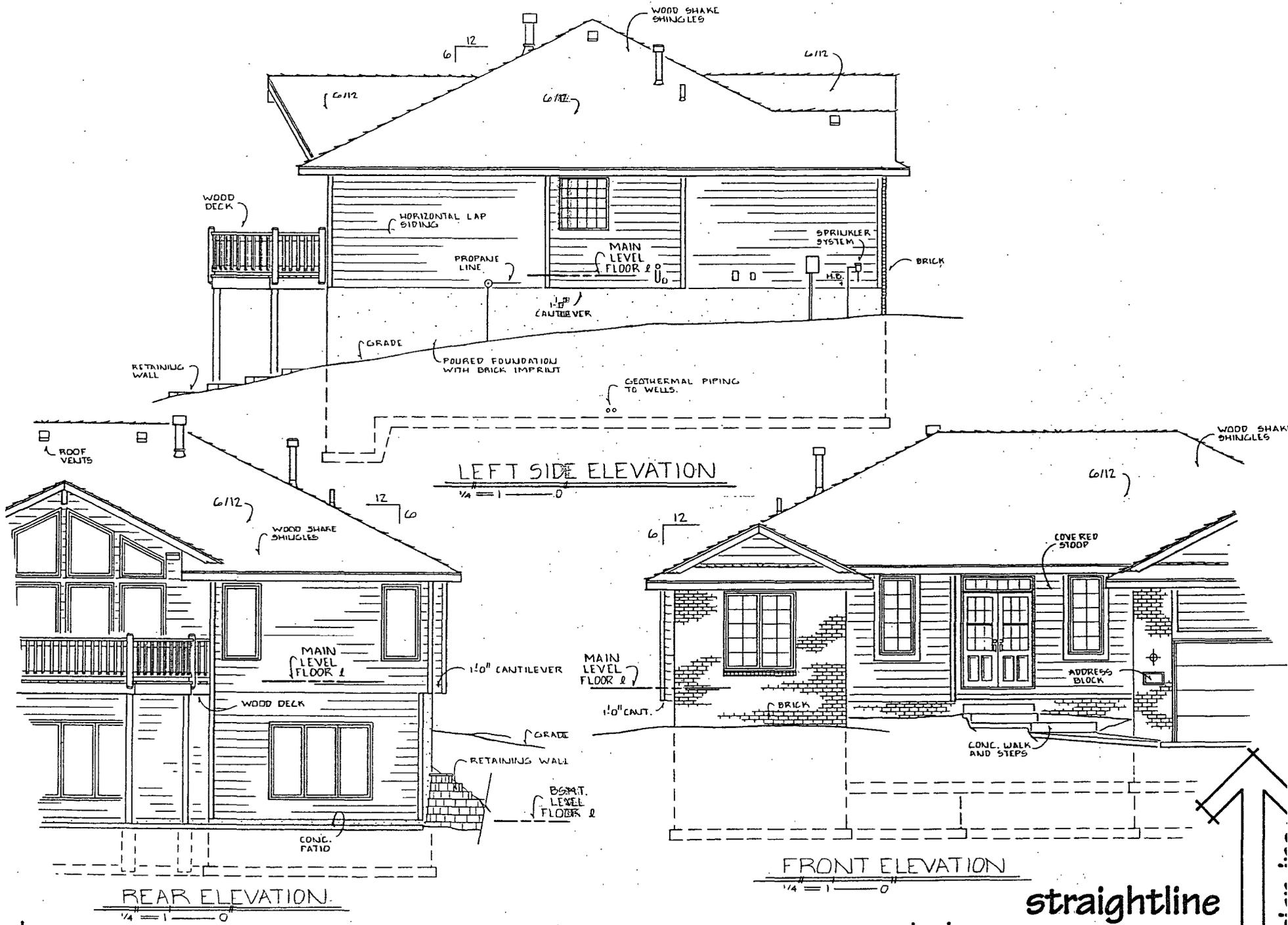
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SITE PLAN

A |
BD.

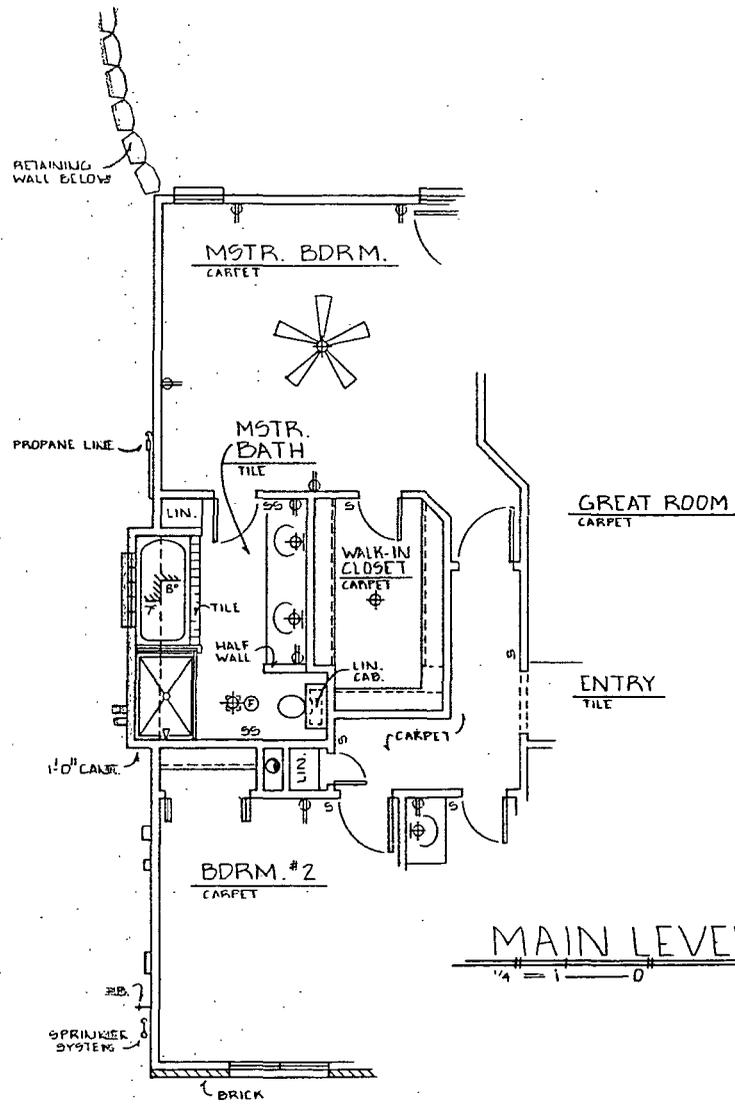
Lamberty Addition

PAGE: 1 OF 5
DATE: 05-11
JOB: #1778

Residential Design and Drafting Service
16355 Pine Street • Omaha, NE • 68130 402 • 334 • 6752



straightline



MAIN LEVEL FLOOR PLAN
 1/4" = 1'-0"

straightline

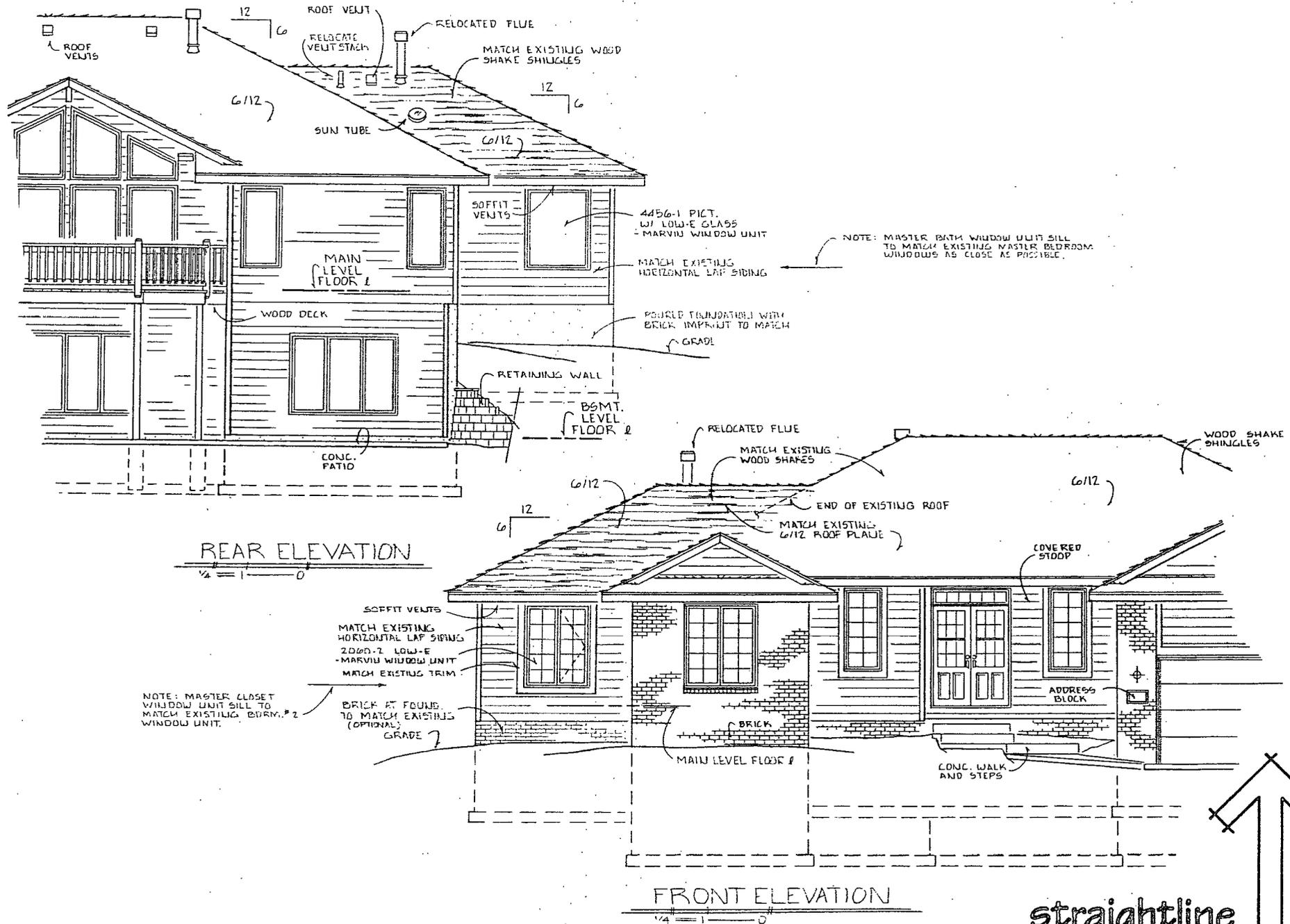
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 EXISTING MSTR. BATH

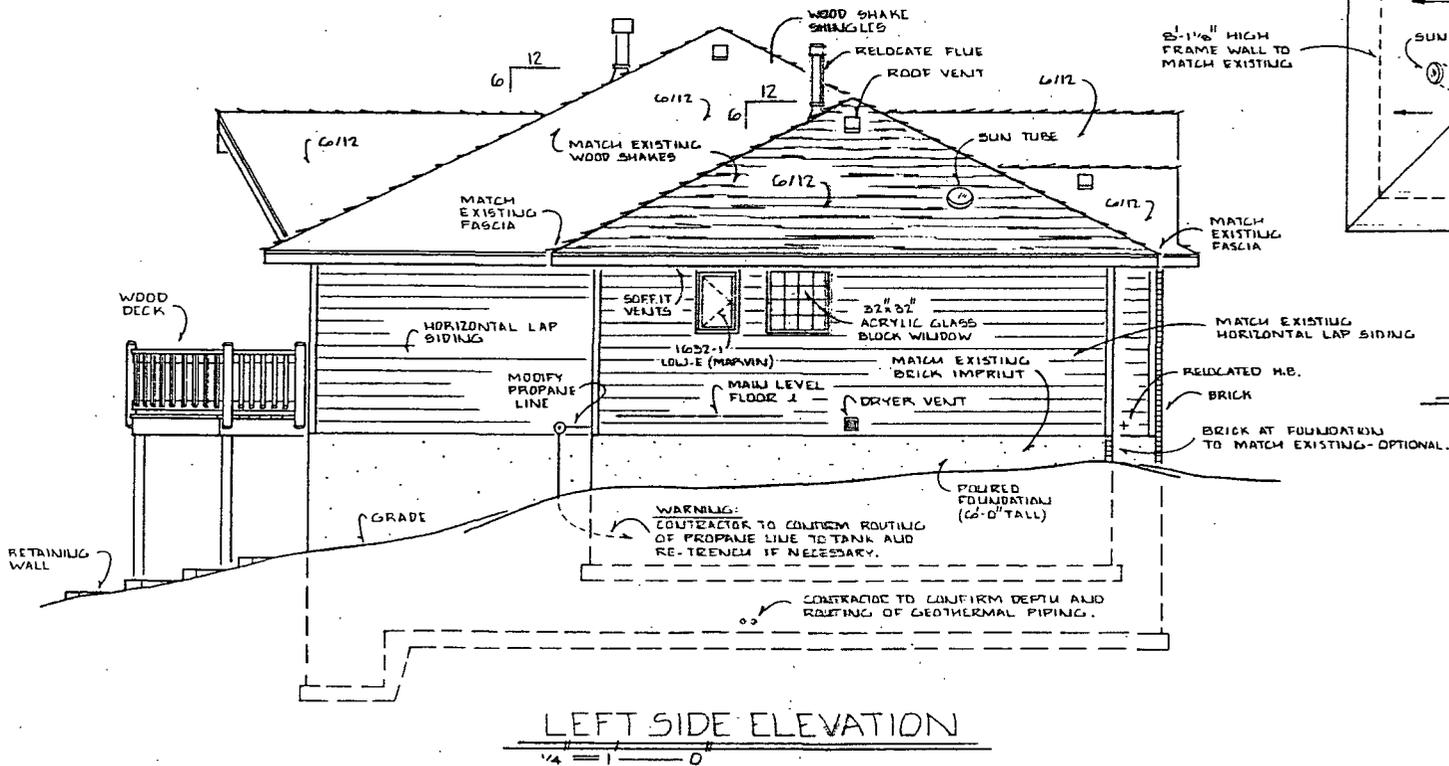
A | 0
 B | D

Lamberty Addition

PAGE: 3 OF 8
 DATE: 2-02-11
 JOB: #1745

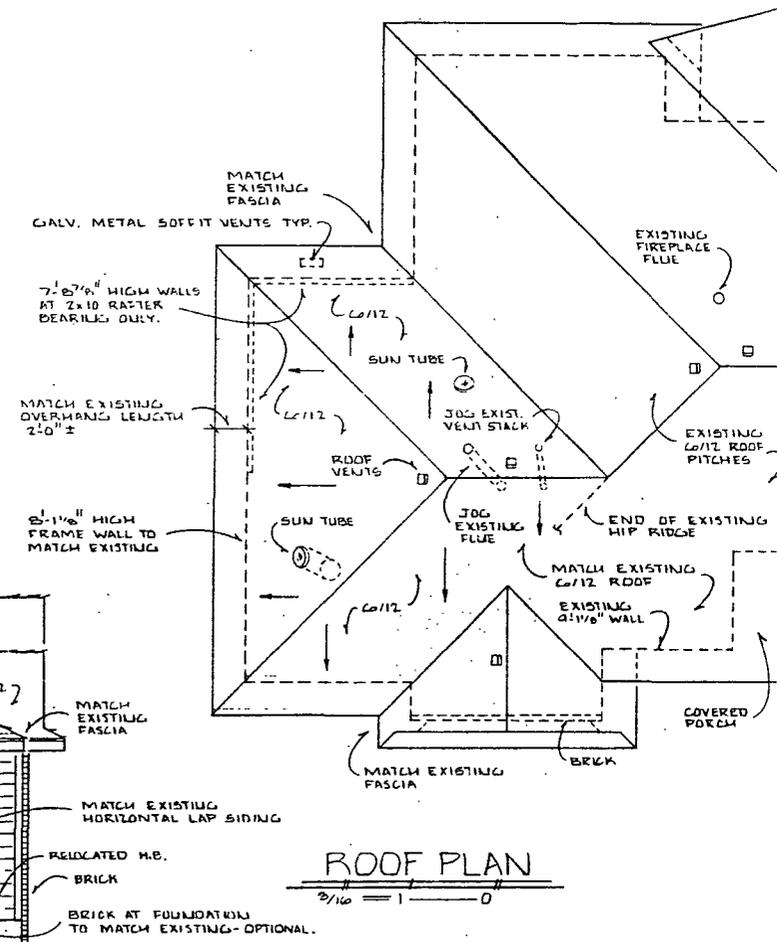
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LEFT SIDE ELEVATION

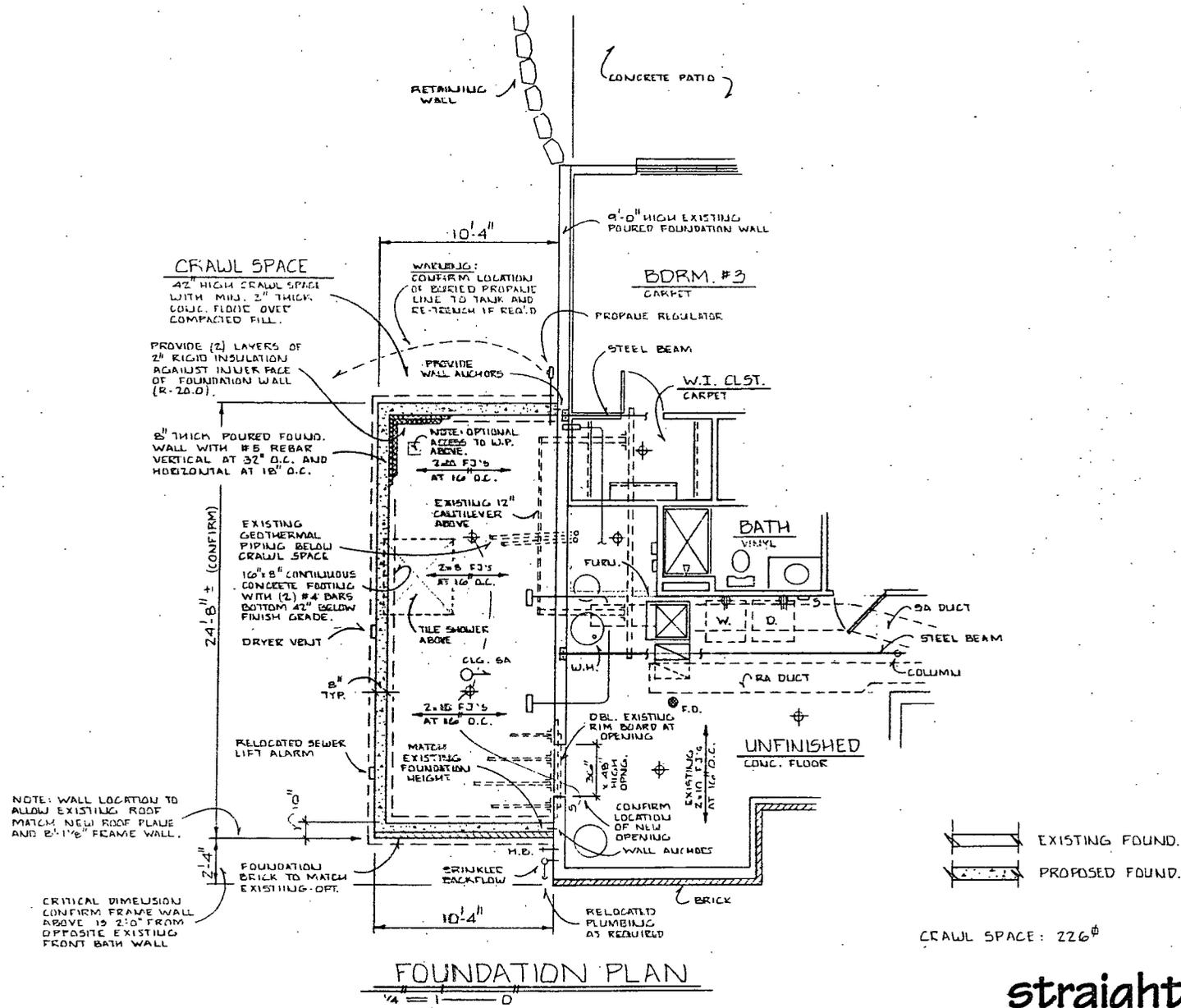
1/4" = 1' - 0"

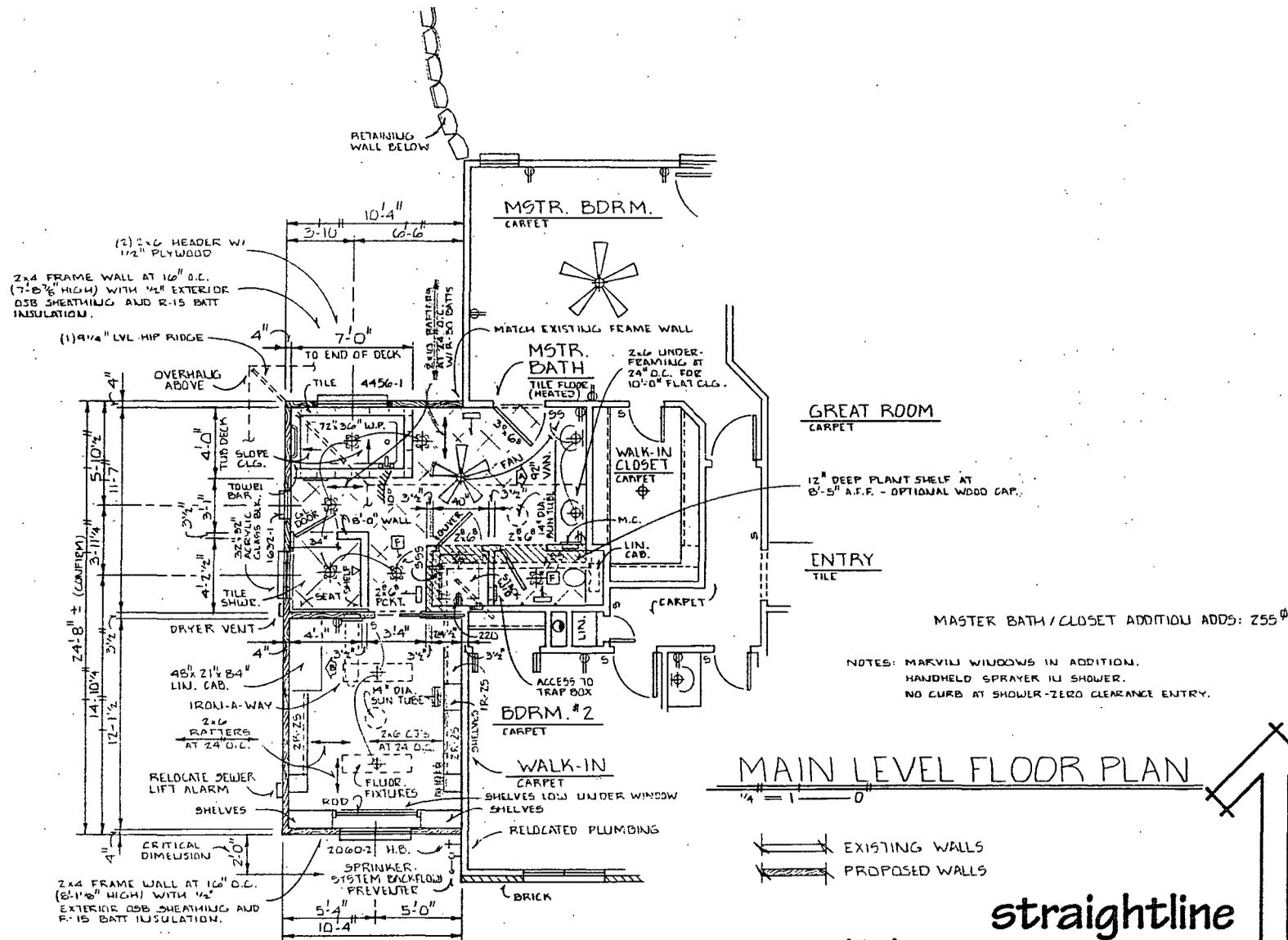


ROOF PLAN

2/16" = 1' - 0"

straightline





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 PROPOSED MSTR. BATH

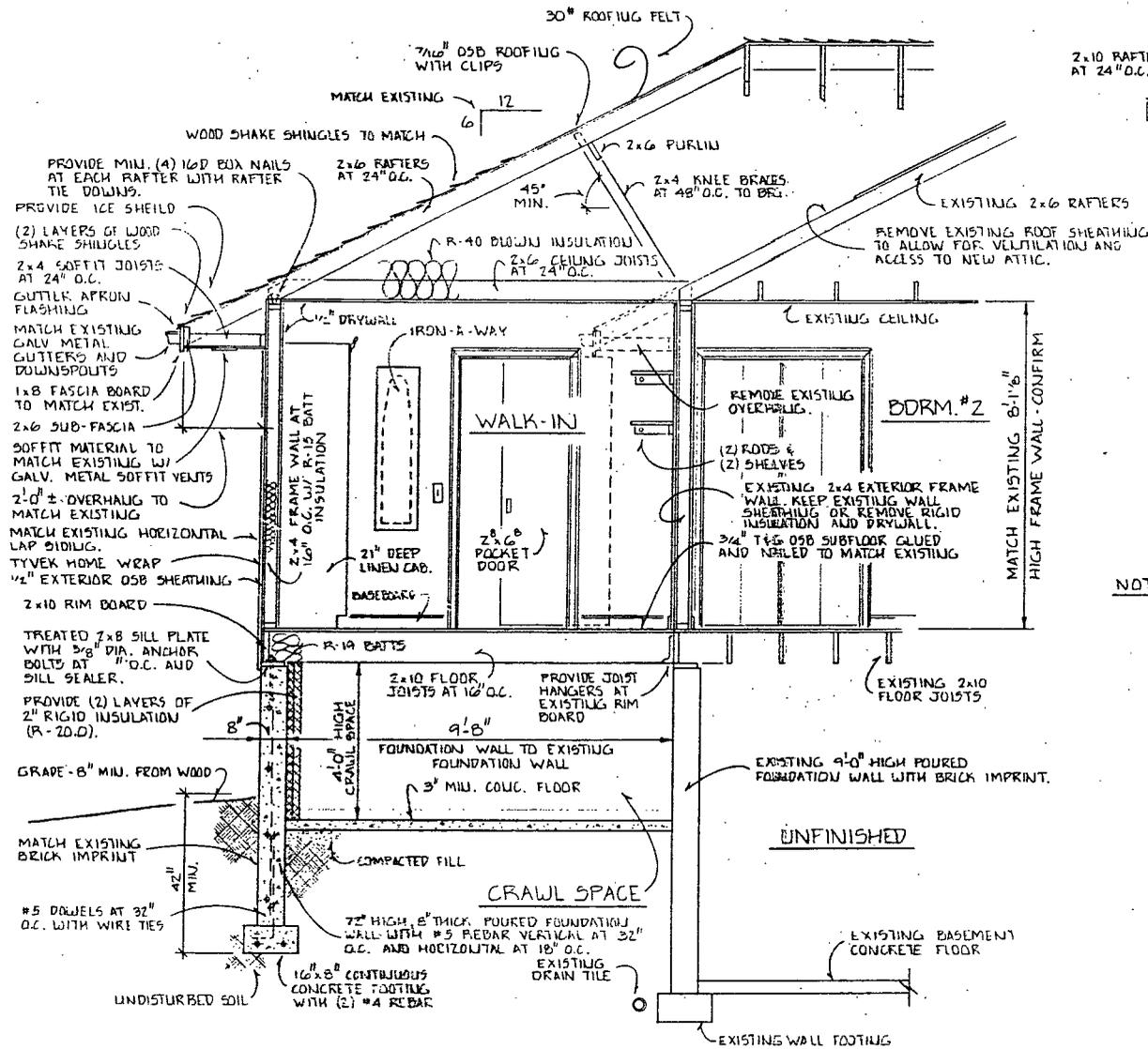
A/D
 B/D

Lamberty Addition

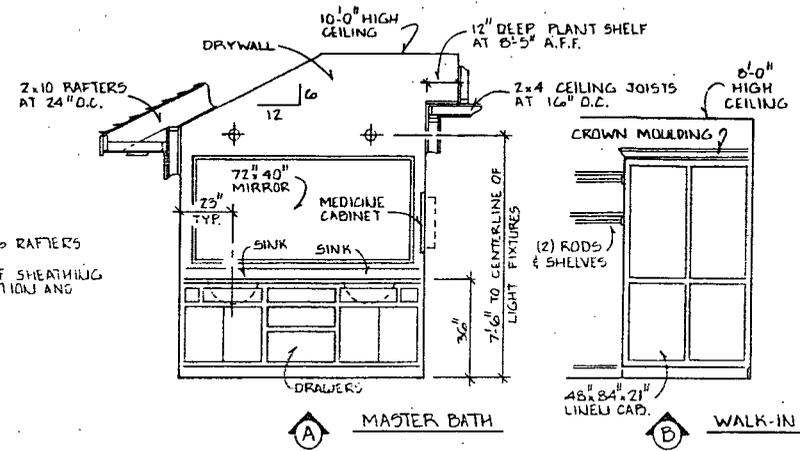
PAGE: 70FB
 DATE: 2-02-11
 JOB: #1798

straightline
 Residential Design and Drafting Service
 16355 Pine Street • Omaha, NE • 68130 402 • 334 • 6752

design. inc.x



WALL SECTION



INTERIOR DETAILS

NOTE: THIS ADDITION IS TO BE CONSTRUCTED IN STRICT COMPLIANCE WITH ALL LOCAL, CITY, STATE, AND NATIONAL BUILDING CODES. CONTRACTOR TO CONFIRM ALL LUMBER SIZES AND SPECIES AND ALSO CONFIRM THAT SUGGESTED FRAME UNIT SIZES SATISFY SPANS ON JOB SITE.

EXISTING ON SITE DIMENSIONS TAKE PRECEDENCE OVER CALCULATED AND SCALED DIMENSIONS. IT IS THE RESPONSIBILITY OF THE CONTRACT SUBCONTRACTORS, AND OWNERS TO CONFIRM ALL ON SITE DIMENSIONS PRIOR TO CONSTRUCTION AND TO MAKE MODIFICATIONS, IF NECESSARY. THESE DRAWINGS SHALL NOT BE SCALED FOR ACTUAL CONSTRUCTION OF THIS ADDITION PROJECT DUE TO POSSIBLE DISTORTION IN THE REPRODUCTION PROCESS.

PROVIDE AGGREGATED HYDRAULIC CEMENT BOARD FROM FLOOR TO CEILING SURROUNDING WALK-IN SHOWER AND AT TUB LOCATION. PROVIDE SAFETY GLAZING AT SHOWER IF OPTIONAL GLASS DOOR IS INSTALLED.

CONFIRM EXISTING SOIL CONDITIONS PRIOR TO CONSTRUCTION AND MODIFY FOUNDATION, IF NECESSARY. ASSUMED SOIL BEARING PRESSURE IS 1500 PSF.

CONTRACTOR TO CONFIRM THAT MINIMUM INSULATION STANDARDS ARE MET AND/OR EXCEEDED IN ACCORDANCE WITH THE RESCHECK PERFORMED FOR THIS PROJECT.

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