

BOARD OF COUNTY COMMISSIONERS
SARPY COUNTY, NEBRASKA

RESOLUTION FLOOD PLAIN DEVELOPMENT
Gabe Oas, 2003 Crappie Cove, Bellevue, Sarpy County, NE

WHEREAS, pursuant to Neb. Rev. Stat. § 23-104 (Reissue 2007), the County has the power to do all acts in relation to the concerns of the County necessary to the exercise of its corporate powers; and,

WHEREAS, pursuant to Neb. Rev. Stat. § 23-103 (Reissue 2007), the powers of the County as a body are exercised by the County Board; and,

WHEREAS, the County Board of Commissioners has the authority to adopt a Zoning Regulation, which shall have the force and effect of law pursuant to Neb. Rev. Stat. § 23-114 (Reissue 2007); and,

WHEREAS, said Zoning Regulations require the County Board of Commissioners to approve applications for development permits within any Flood Plain District; and

WHEREAS, Rebecca Horner, Planning Director has reviewed Gabe Oas' application for a Flood Plain Development Permit for compliance with the Zoning Regulations on the property legally described in the attached Exhibit A; and,

WHEREAS, said application includes an elevation certificate which is in compliance with Section 30, Flood Plain District of Zoning Regulations and further, the Natural Resources District has no objection to the development permit; and,

WHEREAS, the Planning Director has made a recommendation of approval as noted in the attached Exhibit A, which Exhibit A includes the Planning Director report, the elevation certificate, the Natural Resources District comments and the site plan of the subject property.

NOW, THEREFORE, BE IT RESOLVED BY THE SARPY COUNTY BOARD OF

COMMISSIONERS THAT the Flood Plain Development Permit Application for the property legally described in the attached Exhibit A is hereby approved.

Dated this 27th day of July, 2010.

Moved by Rusty Hike seconded by Rich Jansen, that the above Resolution be adopted. Carried.

YEAS:

NAYS:

ABSENT:

Rusty Hike
Rich Jansen
Tom Albrecht
Tom Richard
Patrick J. Thomas

none

none

ABSTAIN:

none



Debra J. Houghtaling
County Clerk

Approved as to form:

Micole O'Kane
County Attorney

Sarpy County Board of Commissioners Report
Report prepared July 21, 2010
County Board Date: July 27, 2010

Subject	Type	By
Floodplain Development Permit for deck replacement, extension and new cover on property legally described as Lot 45, Hanson's Lake located in the southwest quarter of section 27-13-13 in Sarpy County Nebraska.	Resolution	Rebecca Horner, AICP Planning Director

This is a request for approval of a floodplain development permit to replace an existing deck and cover the deck at 2003 Crappie Cove.

- Comprehensive Development Plan
 - The Sarpy County Development Structure Plan indicates this area as Urban Residential.
- Zoning Regulations
 - The existing zoning is RD-50, Two Family Residential.
 - The deck replacement, extension and canopy are in conformance with the setback and lot coverage requirements of the Zoning Regulations.
 - All materials used below the Base Flood Elevation will be water damage resistant.
 - The request is in conformance with the Floodplain Development Regulations.
- Natural Resources
 - The Natural Resources District reviewed the request and has no objection.
- Recommendation
 - Recommend approval due to compliance with the Zoning Regulations for the Flood Plain District and due to no objection from the Natural Resources District.

Respectfully submitted by:



Rebecca Horner, AICP
Planning Director



FLOOD PLAIN DEVELOPMENT PERMIT APPLICATION

In order for your application to be considered **COMPLETE**, please answer all applicable questions and provide the following:

1. Submit complete Flood Plain Development Permit Application
2. Submit Non-Refundable Fee of \$100.00 made payable to Sarpy County Treasurer
3. 2 full size site/construction plan drawing
4. 6 reduced size site/construction plan drawings (8.5 x 11)
5. A Construction Drawing Elevation Certificate (From registered professional engineer or architect.)

PLANNING STAFF USE ONLY:

APPLICATION NO.: _____
 DATE RECEIVED: _____
 CP DESIGNATION: _____
 ZONING DESIGNATION: _____
 FEE: \$ _____ RECEIPT NO. _____
 RECEIVED BY: _____
 NOTES: _____

PROPERTY OWNER INFORMATION: (If multiple owners, attach separate sheet)

Please check box if attaching separate sheet with owner information.

NAME: Gabe OAS

E-MAIL: gabe@inflyte.com

ADDRESS: 2003 CRAPPIE COVE

CITY/STATE/ZIP: BELLEVUE, NE 68123

MAILING (IF DIFFERENT)
 ADDRESS: _____

CITY/STATE/ZIP: _____

PHONE: 651-6239

FAX: _____

ENGINEER INFORMATION:

NAME: _____

E-MAIL: _____

ADDRESS: _____

CITY/STATE/ZIP: _____

MAILING (IF DIFFERENT)
 ADDRESS: _____

CITY/STATE/ZIP: _____

PHONE: _____

FAX: _____

CONSTRUCTION INFORMATION: *This individual/company is responsible for meeting construction standards.*

NAME: GABE OAS

E-MAIL: gabe@inflyte.com

ADDRESS: 2003 CRAPPIE COVE

CITY/STATE/ZIP: BELLEVUE NE 68123

PHONE: 402-651-6239

FAX: _____

EXISTING & BE FINISHED W/ COMPOSITION SHINGLES. EXTEND EXISTING DECK TO 14' & ADD STAIRWAYS TO GRADE

PROJECT SITE INFORMATION: Complete each section in its entirety. If a question is not applicable to your project, please indicate this to show that each question has been carefully considered.

PROPERTY ADDRESS: 2003 CRAPPIE COVE BELLEVILLE NE 68123

ASSESSORS PARCEL NUMBER(S)

SUB DIVISION: HANSON'S LAKE LOT: 45

NAME OF WATERWAY: HANSON'S LAKE #3

PROPERTY LIES WITHIN: FLOODWAY: FLOOD FRINGE:

LOWEST FLOOR ELEVATION IS TO BE FEET ABOVE MEAN SEA LEVEL. (Including Basement)

LEGAL DESCRIPTION: (Describe property to wit:)

Lot 45, HANSON'S LAKE, SARPY County

ADDITIONAL INFORMATION: Please use this space to provide any other information you feel is appropriate for the County to consider during review of your application. Attach extra sheets if necessary.

NONE

PLEASE NOTE THE FOLLOWING PROCEDURES:

- 1. County Board will hold a public hearing and make a final decision on the Flood Plain Development Permit.
2. After the Flood Plain Permit Approval please provide a signed resolution to the Building Department to begin the Building Permit Process. PLEASE NOTE prior to the final inspection a Finished Construction Elevation Certificate will be required by the Building Department.

I, the undersigned, understand a sign will be posted on my property and will remain until the public hearing process at the Planning Commission and County Board is complete. I further understand the Special Use Permit process as stated above and I authorize County Staff to enter the property for inspection related to the specific request during this process.

Owner Signature (or authorized agent)

Date

Owner Signature (or authorized agent)

Date

July 13, 2010

Rebecca Horner, Director
Sarpy County Planning Department
1210 Golden Gate Drive
Papillion, NE 68046

JUL 14 2010

SARPY COUNTY
PLANNING DEPARTMENT



RE: Gabe Oas, 2003 Crappie Cove – Application for Flood Plain Development Permit

Dear Ms. Horner:

The District received information concerning the proposed extension of an existing deck and the construction of a roof over the deck on Lot 45 in Hanson's Lake located at 2003 Crappie Cove in Bellevue, Nebraska. According to the Flood Insurance Rate Map for Sarpy County, Panel 31153C 0205 G, effective December 2, 2005, this property is located in the Zone AE floodplain of the Platte River. The base flood elevation (BFE) determined at this location is approximately 976.0 ft (NAVD 1988). No enclosed structures will be constructed as part of this project.

The District has no objections to this application. If you have any questions or concerns, please contact me at 444-6222 or at llaster@papionrd.org.

Sincerely,

Lori Ann Laster, CFM
Stormwater Management Engineer

Cc: Marlin Petermann, P-MRNRD

\\laster\Documents\Floodplain Development Permits\Plat 865\100713-2003 Crappie Cove.docx
Plat: 865



Floodplain Development Permit
2003 Crappie Cove

ADDITIONAL INFORMATION

SARPY COUNTY BOARD OF COMMISSIONERS

JULY 27, 2010

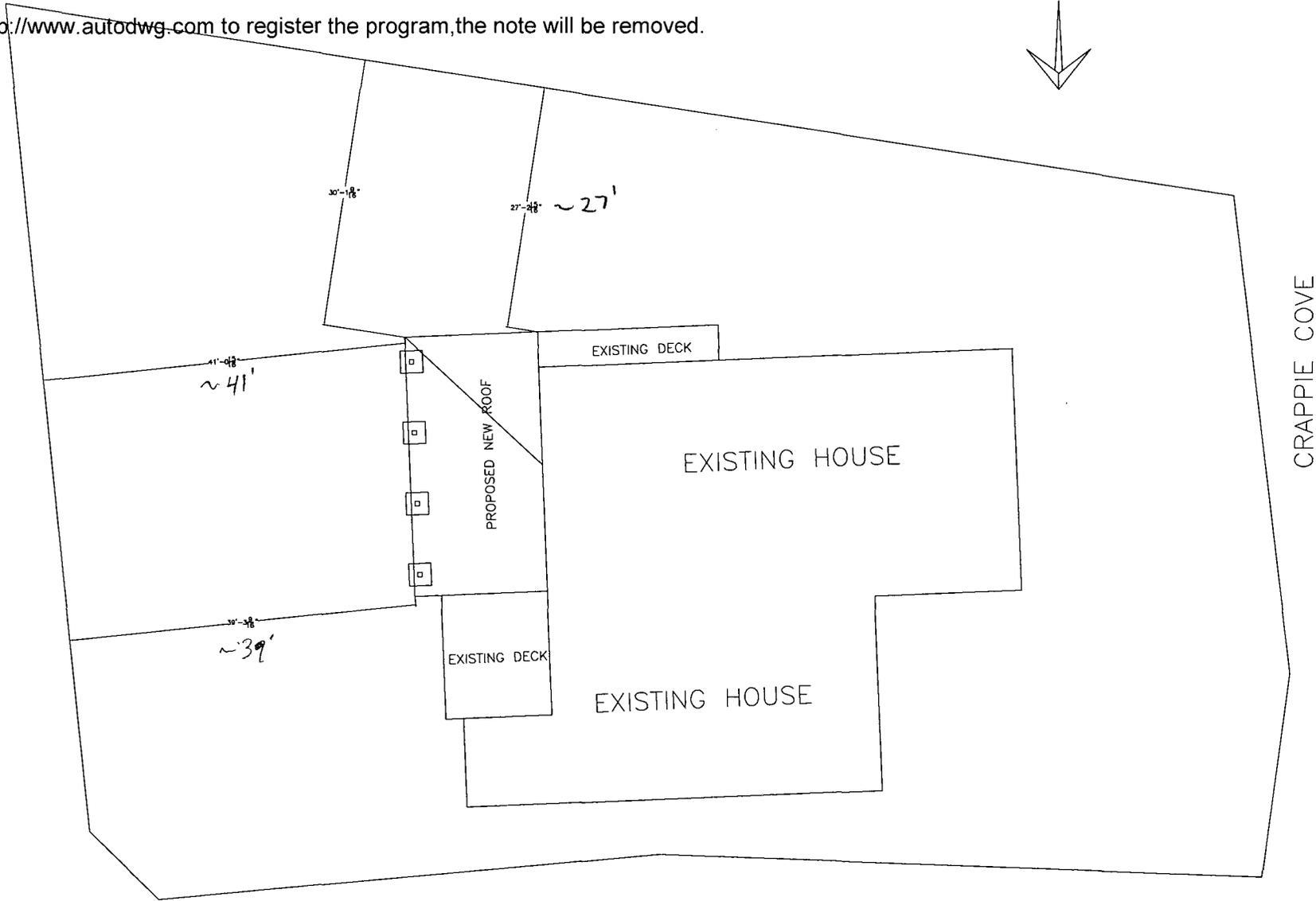
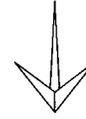
FLOOD PLAIN DEVELOPMENT PERMIT

2003 CRAPPIE COVE, LOT 45, HANSON'S LAKE

DECK REPLACEMENT

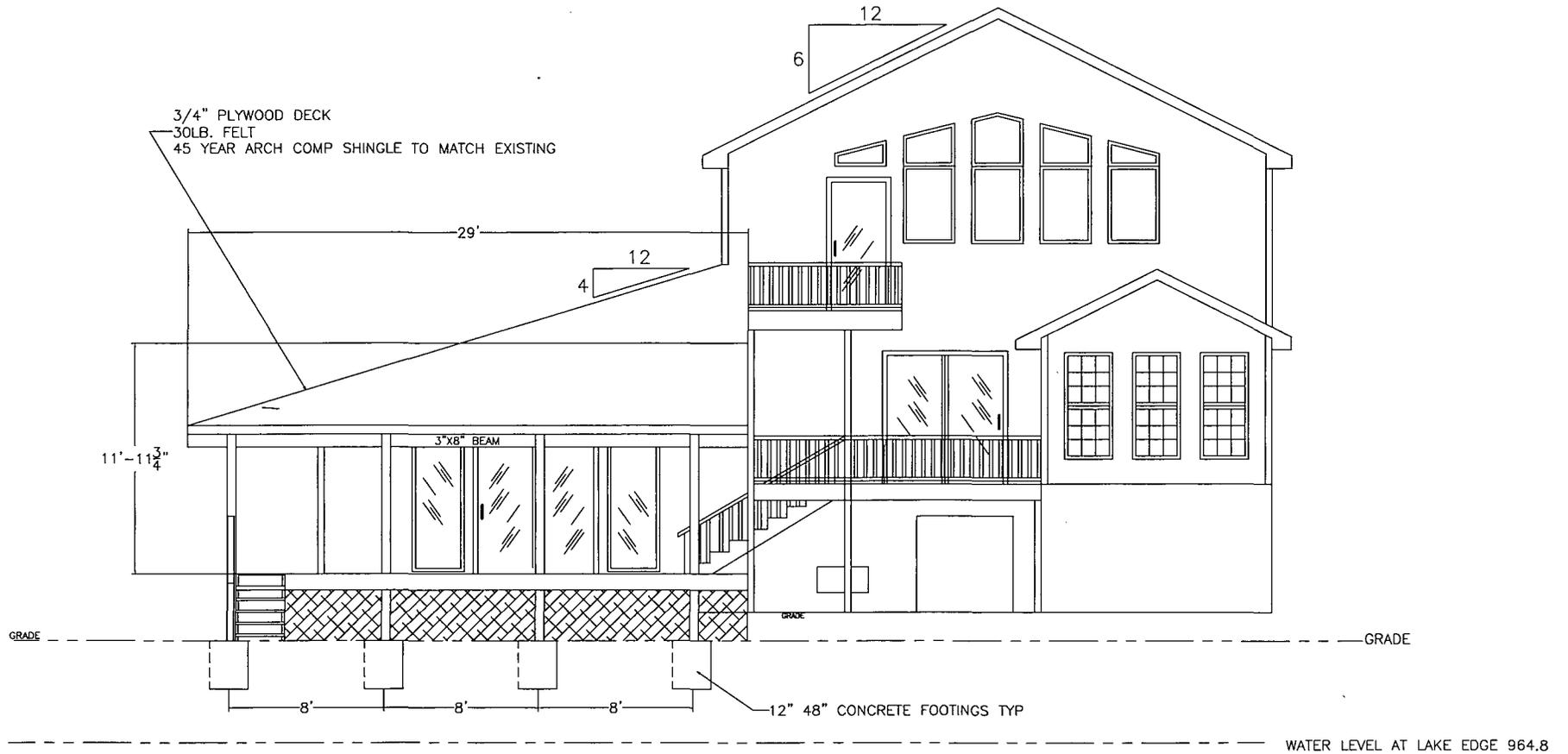
Please goto <http://www.autodwg.com> to register the program, the note will be removed.

NORTH



PLOT PLAN

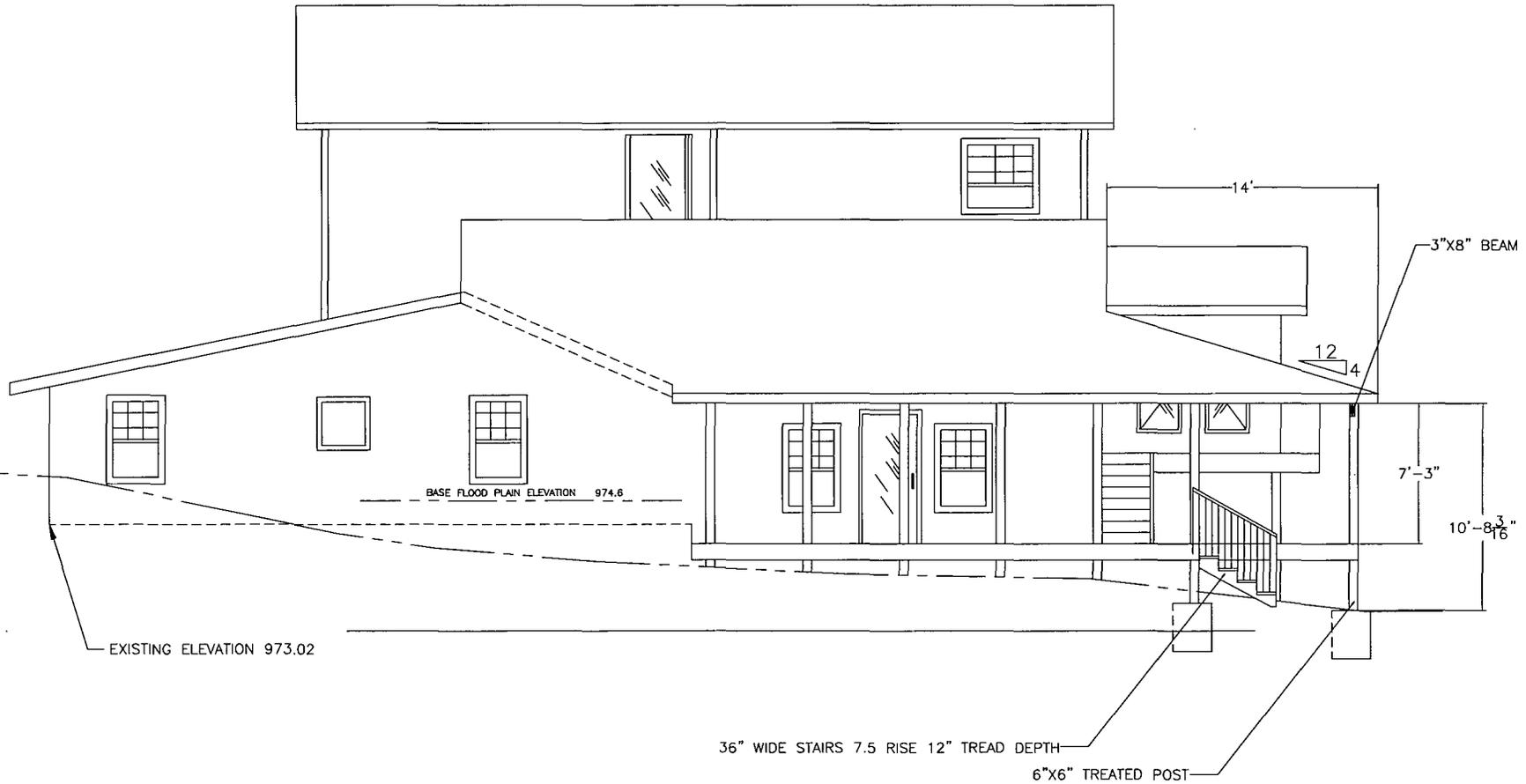
Please goto <http://www.autodwg.com> to register the program, the note will be removed.



EAST SIDE LAKE SIDE

GABE OAS RESIDENCE
2003 CRAPPIE COVE

Please goto <http://www.autodwg.com> to register the program,the note will be removed.

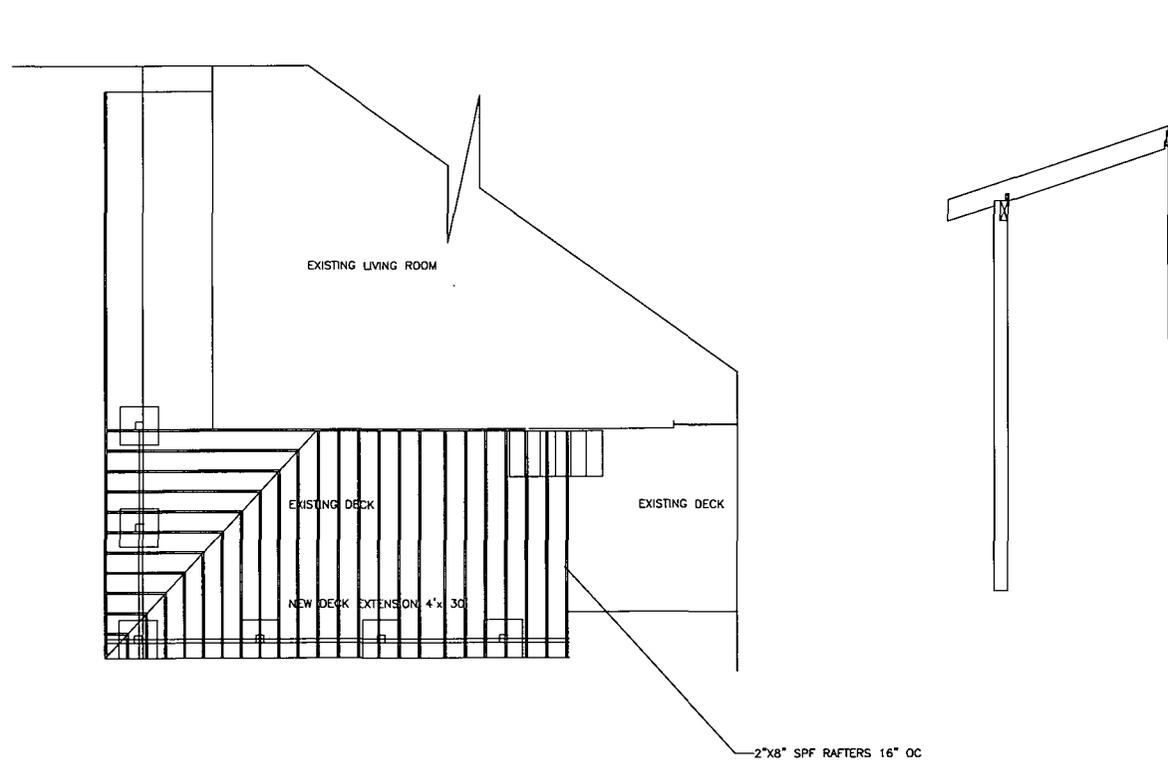


SOUTH SIDE

EXISTING ALUMINUM SPINDLE RAIL WILL MOVE TO NEW DECK END
NEW STAIR RAIL WILL BE ADDED TO MATCH EXISTING.

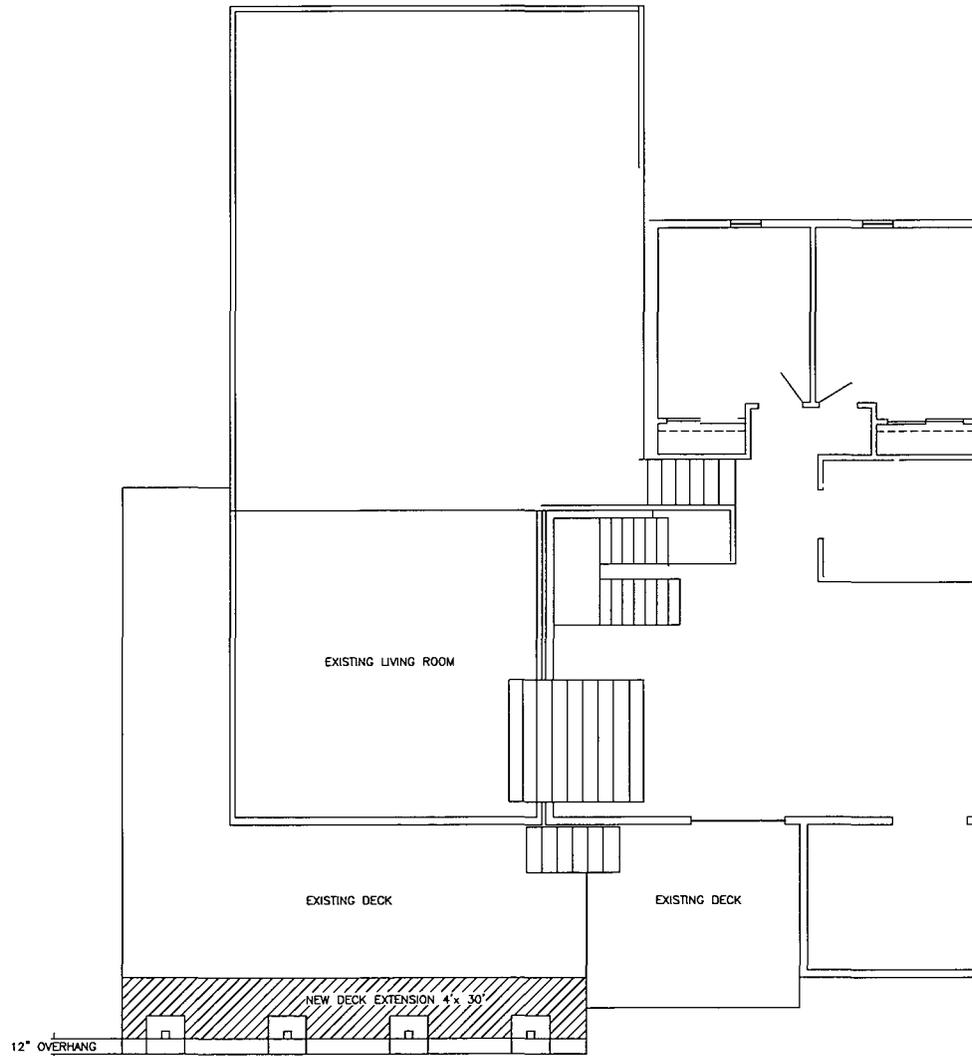
GABE OAS RESIDENCE
2003 CRAPPIE COVE

Please goto <http://www.autodwg.com> to register the program,the note will be removed.



ROOF FRAMING DETAIL

Please goto <http://www.autodwg.com> to register the program,the note will be removed.



JOISTS MATCH EXISTING 2"X10" GREEN TREAT JOISTS 24"OC
JOISTS TO GO BACK OVER EXISTING BEAM
ATTACH TO NEW LEDGER BOARD 2"X10"ON FRONT OF BEAM VIA JOIST HANGER
GREEN TREAT DECKING TO MATCH EXISTING

1ST FLOOR PLAN

GABE OAS RESIDENCE
2003 CRAPPIE COVE

