

BOARD OF COUNTY COMMISSIONERS
SARPY COUNTY, NEBRASKA

RESOLUTION FLOOD PLAIN DEVELOPMENT
Edward Maloney, 7908 Kona Circle Papillion, Sarpy County, NE

WHEREAS, pursuant to Neb. Rev. Stat. § 23-104 (Reissue 2007), the County has the power to do all acts in relation to the concerns of the County necessary to the exercise of its corporate powers; and,

WHEREAS, pursuant to Neb. Rev. Stat. § 23-103 (Reissue 2007), the powers of the County as a body are exercised by the County Board; and,

WHEREAS, the County Board of Commissioners has the authority to adopt a Zoning Regulation, which shall have the force and effect of law pursuant to Neb. Rev. Stat. § 23-114 (Reissue 2007); and,

WHEREAS, said Zoning Regulations require the County Board of Commissioners to approve applications for development permits within any Flood Plain District; and

WHEREAS, Rebecca Horner, Planning Director has reviewed Edward Maloney's application for a Flood Plain Development Permit for compliance with the Zoning Regulations on the property legally described in the attached Exhibit A; and,

WHEREAS, said application includes an elevation certificate which is in compliance with Section 30, Flood Plain District of Zoning Regulations and further, the Natural Resources District has no objection to the development permit; and,

WHEREAS, the Planning Director has made a recommendation of approval as noted in the attached Exhibit A, which Exhibit A includes the Planning Director report, the elevation certificate, the Natural Resources District comments and the site plan of the subject property.

NOW, THEREFORE, BE IT RESOLVED BY THE SARPY COUNTY BOARD OF

COMMISSIONERS THAT the Flood Plain Development Permit Application for the property legally described in the attached Exhibit A is hereby approved.

Dated this 13th day of July, 2010.

Moved by Rich Jansen seconded by Rusty Hoke, that the above Resolution be adopted. Carried.

YEAS:

NAYS:

ABSENT:

[Signature]
[Signature]
[Signature]
[Signature]
[Signature]

none

none

ABSTAIN:

none



[Signature]
County Clerk

Approved as to form:

[Signature]
County Attorney

Sarpy County Board of Commissioners Report
Staff Report Prepared: July 1, 2010
County Board Meeting Date: July 13, 2010

| Subject | Type | By |
|---|------------|---|
| Floodplain Development Permit for replacement of an existing deck on Lot 160, Hawaiian Village, located in the NW ¼ of Section 26, T13N, R12E, in Sarpy County, NE. | Resolution | Rebecca Horner, AICP Planning Director |

This is a request for approval of a floodplain development permit at 7908 Kona Circle to replace an existing deck.

- Comprehensive Development Plan
 - The Sarpy County Development Structure Plan indicates this area as Greenway.
- Zoning
 - The existing zoning is RD-50.
 - The request is to replace an existing deck in the same location and using the existing footings.
 - The deck replacement is in conformance with the Sarpy County Flood Plain regulations.
 - The deck meets the required minimum setbacks of the Sarpy County Zoning Regulations.
- Natural Resources
 - The Natural Resources District has no objection to the request. Their comments are attached.
- Recommendation
 - For the reasons stated above I recommend approval to the floodplain development permit to replace an existing deck on Lot 160, Hawaiian Village, located in the NW ¼ of Section 26, T13N, R12E, generally known as 7908 Kona Circle.

Respectfully submitted by:



Rebecca Horner, AICP
Planning Director

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

SECTION A - PROPERTY INFORMATION

| | | |
|---|--|---|
| A1. Building Owner's Name EDWARD MALONEY | | For Insurance Company Use: Policy Number |
| A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 7908 KONA CIRCLE | | Company NAIC Number |

City PAPILLION State NE ZIP Code 68046

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
LOT 160, HAWAIIAN VILLAGE, TAX PARCEL NUMBER 010438092

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL

A5. Latitude/Longitude: Lat. 41 04' 13" N Long. 96 02' 07" W

Horizontal Datum: NAD 1927 NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 7

A8. For a building with a crawlspace or enclosure(s):

- a) Square footage of crawlspace or enclosure(s) 1672 sq ft
- b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade _____
- c) Total net area of flood openings in A8.b _____ sq in
- d) Engineered flood openings? Yes No

A9. For a building with an attached garage:

- a) Square footage of attached garage 770 sq ft
- b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade _____
- c) Total net area of flood openings in A9.b _____ sq in
- d) Engineered flood openings? Yes No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

| | | | | | |
|--|-----------------|---------------------|--|-------------------------|--|
| B1. NFIP Community Name & Community Number | | | B2. County Name SARPY COUNTY | | B3. State NEBRASKA |
| B4. Map/Panel Number 31153C0200 | B5. Suffix G | B6. FIRM Index Date | B7. FIRM Panel Effective/Revised Date 12/2/05 | B8. Flood Zone(s) AE | B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 994.1 |

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.

- FIS Profile FIRM Community Determined Other (Describe) _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other (Describe) _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
Designation Date _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE.

Benchmark Utilized _____ Vertical Datum 1988

Conversion/Comments _____

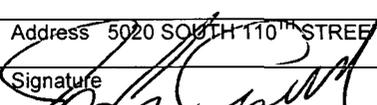
Check the measurement used.

- a) Top of bottom floor (including basement, crawlspace, or enclosure floor) 991.354 feet meters (Puerto Rico only)
- b) Top of the next higher floor 1000.01 feet meters (Puerto Rico only)
- c) Bottom of the lowest horizontal structural member (V Zones only) _____ feet meters (Puerto Rico only)
- d) Attached garage (top of slab) 997.332 feet meters (Puerto Rico only)
- e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) 997.326 feet meters (Puerto Rico only)
- f) Lowest adjacent (finished) grade next to building (LAG) 991.17 feet meters (Puerto Rico only)
- g) Highest adjacent (finished) grade next to building (HAG) 997.242 feet meters (Puerto Rico only)
- h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support 991.066 feet meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No

| | | | |
|--|--|------------------------|----------------|
| Certifier's Name JON LESLIE CARRELL | | License Number 693 | |
| Title LAND SURVEYOR | Company Name CARRELL & ASSOCIATES, INC | | |
| Address 5020 SOUTH 110 TH STREET | City OMAHA | State NE | ZIP Code 68137 |
| Signature  | Date 05/13/10 | Telephone 402-331-2333 | |



| | |
|---|----------------------------|
| IMPORTANT: In these spaces, copy the corresponding information from Section A. | For Insurance Company Use: |
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 7908 KONA CIRCLE | Policy Number |
| City PAPILLION State NE ZIP Code 68046 | Company NAIC Number |

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments THE ELEVATION FOR THE EQUIPMENT SERVICING THE BUILDING IS LOCATED ON THE EAST SIDE OF THE HOUSE NEXT TO THE AIR CONDITIONER

THE DECK ELEVATION IS 1000.0


Signature _____ Date 05/13/10 Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).

- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.

E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.

E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name _____

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments _____

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

| | | |
|-------------------------|------------------------------|---|
| G4. Permit Number _____ | G5. Date Permit Issued _____ | G6. Date Certificate Of Compliance/Occupancy Issued _____ |
|-------------------------|------------------------------|---|

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____

G10. Community's design flood elevation _____ feet meters (PR) Datum _____

Local Official's Name _____ Title _____

Community Name _____ Telephone _____

Signature _____ Date _____

Comments _____

Check here if attachments

June 28, 2010

Ms. Rebecca Horner
Sarpy County Planning Department
1210 Golden Gate Drive
Papillion, Nebraska 68046



RE: 7908 Kona Circle – Floodplain Development Permit

Dear Ms. Horner:

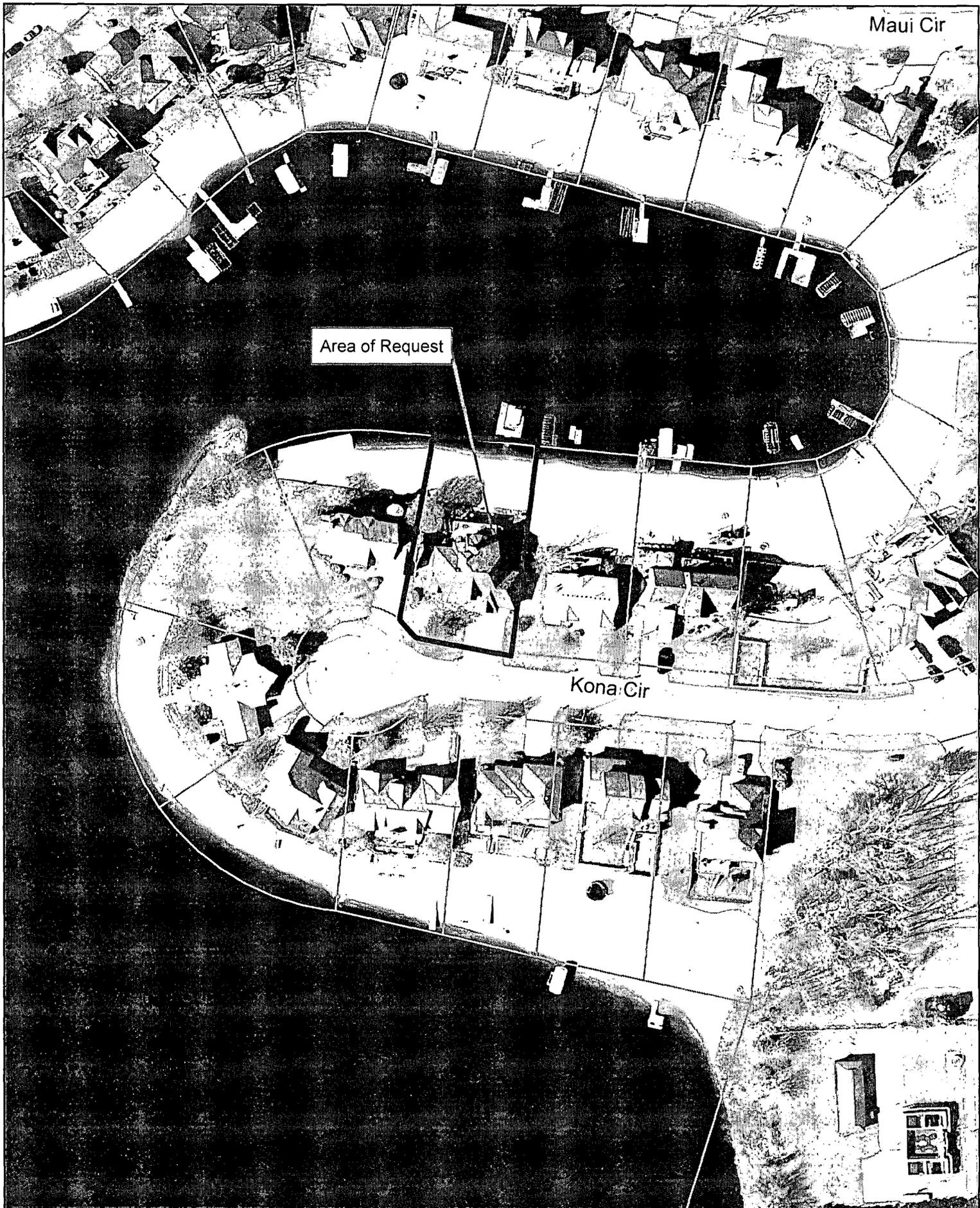
The District received information for the proposed deck replacement of a deck on an existing residence on Lot 160 in Hawaiian Village at 7908 Kona Circle in Papillion, Nebraska. According to the Flood Insurance Rate Map for Sarpy County, Panel 31153C 0200G, dated December 2, 2005, the lot is located in the Zone AE floodway fringe of the Platte River. The base flood elevation (BFE) determined at this location is 994.1 feet (NAVD 1988). The District has no objections to the proposed deck replacement.

If you have any questions you may contact me at 444-6222 or llaster@papionrd.org,

Sincerely,

Lori Ann Laster, CFM
Stormwater Management Engineer

Cc: Marlin Petermann, P-MRNRD



Maui Cir

Area of Request

Kona Cir



Floodplain Development Permit
7908 Kona Circle

ADDITIONAL INFORMATION

SARPY COUNTY BOARD OF COMMISSIONERS

JULY 13, 2010

FLOOD PLAIN DEVELOPMENT PERMIT

Lot 160, Hawaiian Village

Deck Replacement



SARPY COUNTY PLANNING

• 1210 GOLDEN GATE DRIVE PAPILLION, NE 68046
• PHONE: 402-593-1555 • FAX: 402-593-1558 • E-MAIL: PLANNING@SARPY.COM

MAY 18 2010

FLOOD PLAIN DEVELOPMENT PERMIT APPLICATION SARPY COUNTY PLANNING DEPARTMENT

In order for your application to be considered **COMPLETE**, please answer all applicable questions and provide the following:

1. Submit complete Flood Plain Development Permit Application
2. Submit Non-Refundable Fee of \$100.00 made payable to Sarpy County Treasurer
3. 2 full size site/construction plan drawing
4. 6 reduced size site/construction plan drawings (8.5 x 11)
5. A Construction Drawing Elevation Certificate (From registered professional engineer or architect.)

PLANNING STAFF USE ONLY:

APPLICATION NO.: _____
 DATE RECEIVED: _____
 CP DESIGNATION: _____
 ZONING DESIGNATION: _____
 FEE: \$ _____ RECEIPT NO. _____
 RECEIVED BY: _____
 NOTES: _____

PROPERTY OWNER INFORMATION: (If multiple owners, attach separate sheet)

Please check box if attaching separate sheet with owner information.

NAME: EDWARD MALONEY

E-MAIL: _____

ADDRESS: 7908 KONA CIR.

CITY/STATE/ZIP: PAPILLION, NE 68046

MAILING (IF DIFFERENT)
ADDRESS: _____

CITY/STATE/ZIP: _____

PHONE: 598-3965

FAX: _____

ENGINEER INFORMATION:

NAME: JON LESLIE CARROLL

E-MAIL: _____

ADDRESS: 5020 S. 110TH ST.

CITY/STATE/ZIP: OMAHA, NE 68137

MAILING (IF DIFFERENT)
ADDRESS: _____

CITY/STATE/ZIP: _____

PHONE: 331-2333

FAX: _____

CONSTRUCTION INFORMATION: This individual/company is responsible for meeting construction standards.

NAME: DECKS, PECKS, + MORE DECKS

E-MAIL: DECKS.DECKS@COX.NET

ADDRESS: 901 ELMHURST DR.

CITY/STATE/ZIP: PAPILLION, NE 68046

PHONE: 690-1050

FAX: 575-5710

Building Photographs

See Instructions for Item A6.

| | |
|---|---|
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 7908 KONA CIRCLE | For Insurance Company Use: Policy Number |
| City PAPHILLION State NE ZIP Code 68046 | Company NAIC Number |
| If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page, following. | |

FRONT VIEW – TAKEN MAY 7, 2010



SIDE VIEW – TAKEN MAY 7, 2010



Building Photographs

Continuation Page

| | |
|---|---|
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 7908 KONA CIRLCE | For Insurance Company Use: Policy Number |
| City PAPILLION State NE ZIP Code 68046 | Company NAIC Number |

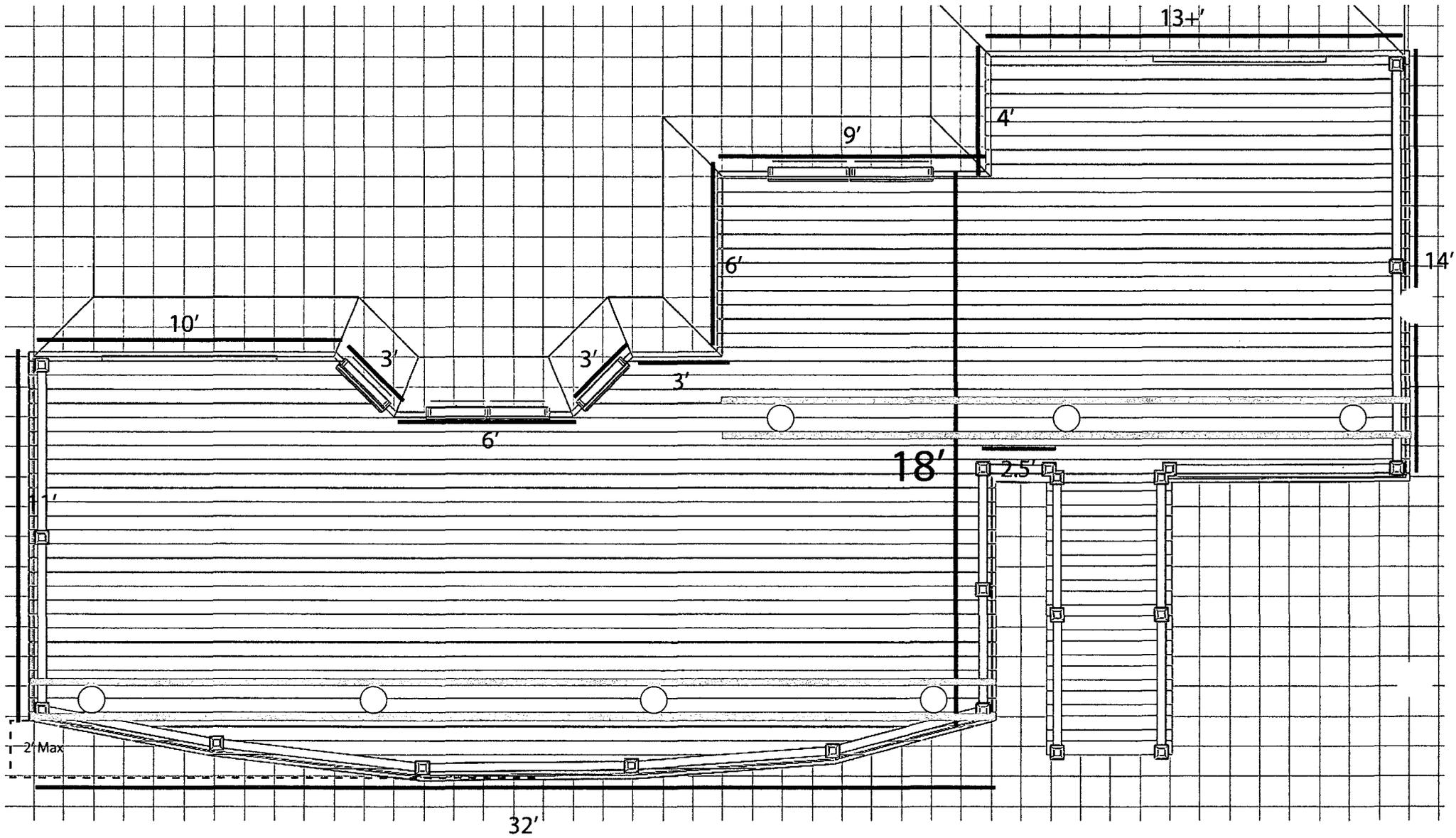
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."

SIDE VIEW – TAKEN MAY 7, 2010



REAR VIEW PICTURE – TAKEN MAY 7, 2010



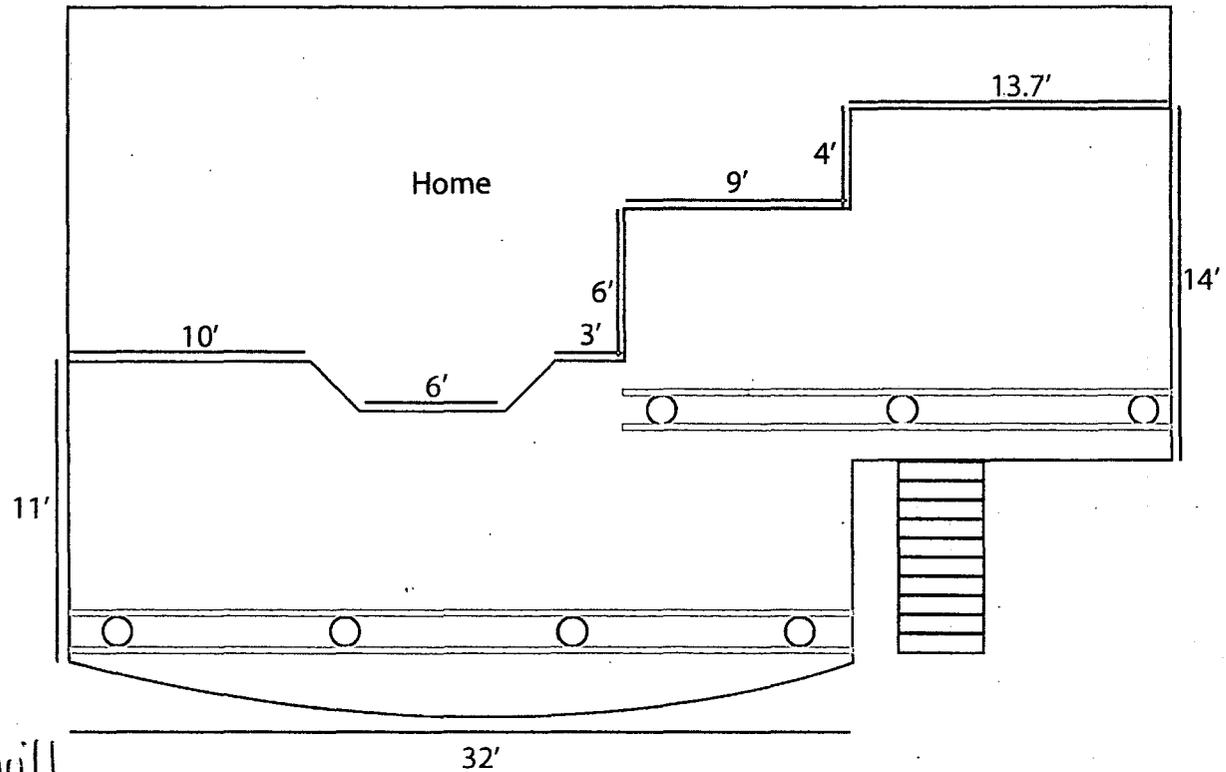


○ Footing

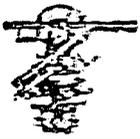
▭ Beam

FOOTING AND FLOOR PLAN

SCALE: $\frac{1}{4}'' = 2'$



We will
re-use
existing footings

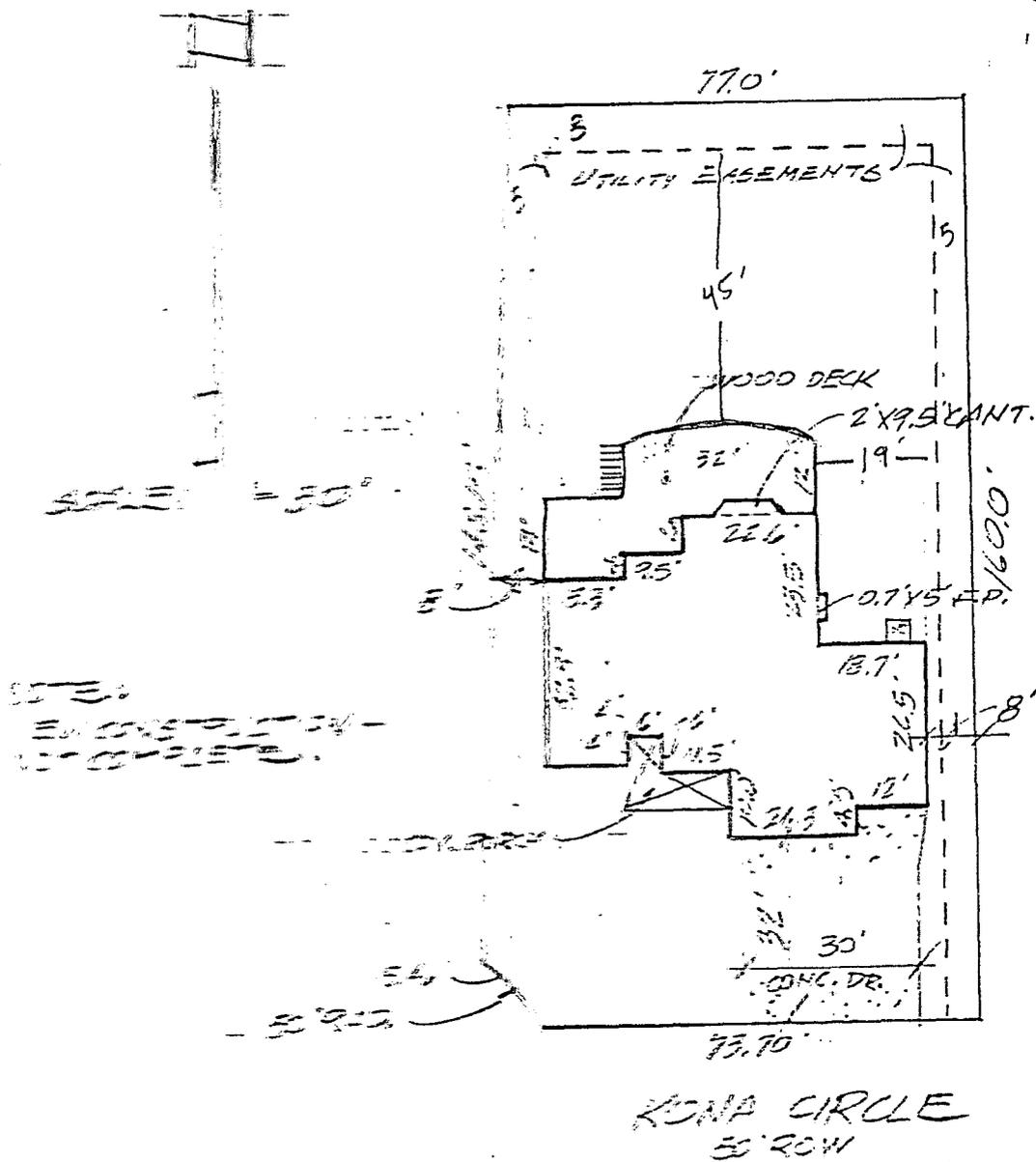


CARRELL & ASSOCIATES, INC.
 LAND SURVEYORS & CONSULTANTS
 11125 40th STREET
 OMAHA, NEBRASKA 68137
 (402) 331-2333



REAL PROPERTY INSPECTION REPORT

NAME: EDWARD J. & MARGARET T. MALONEY
ADDRESS: 7305 KONA CIRCLE OMAHA, SARPY COUNTY
LEGAL: LOT 150, HAWAIIAN VILLAGE, AS SURVEYED, PLATTED, AND RECORDED IN SARPY COUNTY, NEBRASKA.



DATE: SEPTEMBER 2, 1993.

