

**BOARD OF COUNTY COMMISSIONERS**  
**SARPY COUNTY, NEBRASKA**

**RESOLUTION FLOOD PLAIN DEVELOPMENT**  
**Cindi Van Housen, 8506 Kauai Papillion, Sarpy County, NE**

WHEREAS, pursuant to Neb. Rev. Stat. § 23-104 (Reissue 2007), the County has the power to do all acts in relation to the concerns of the County necessary to the exercise of its corporate powers; and,

WHEREAS, pursuant to Neb. Rev. Stat. § 23-103 (Reissue 2007), the powers of the County as a body are exercised by the County Board; and,

WHEREAS, the County Board of Commissioners has the authority to adopt a Zoning Regulation, which shall have the force and effect of law pursuant to Neb. Rev. Stat. § 23-114 (Reissue 2007); and,

WHEREAS, said Zoning Regulations require the County Board of Commissioners to approve applications for development permits within any Flood Plain District; and

WHEREAS, Rebecca Horner, Planning Director has reviewed Cindi Van Housen's application for a Flood Plain Development Permit for compliance with the Zoning Regulations on the property legally described in the attached Exhibit A; and,

WHEREAS, said application includes an elevation certificate which is in compliance with Section 30, Flood Plain District of Zoning Regulations and further, the Natural Resources District has no objection to the development permit; and,

WHEREAS, the Planning Director has made a recommendation of approval as noted in the attached Exhibit A, which Exhibit A includes the Planning Director report, the elevation certificate, the Natural Resources District comments and the site plan of the subject property.

NOW, THEREFORE, BE IT RESOLVED BY THE SARPY COUNTY BOARD OF

COMMISSIONERS THAT the Flood Plain Development Permit Application for the property legally described in the attached Exhibit A is hereby approved.

Dated this 13<sup>th</sup> day of July, 2010.

Moved by Rich Jansen seconded by Rusty Hiep, that the above Resolution be adopted. Carried.

YEAS:

NAYS:

ABSENT:

Rusty Hiep

none

none

Rich Jansen

Jon Gabeck

Tom Kichart

Patrick J. Thomas

ABSTAIN:

none



Debra J. Houghtaling  
County Clerk

Approved as to form:

[Signature]  
County Attorney

Sarpy County Board of Commissioners Report  
Staff Report Prepared: July 1, 2010  
County Board Meeting Date: July 13, 2010

Subject	Type	By
Floodplain Development Permit for construction of an addition on Lot 40, Hawaiian Village, located in the NE ¼ of Section 27, T13N, R12E, in Sarpy County, NE.	Resolution	Rebecca Horner, AICP Planning Director

This is a request for approval of a floodplain development permit at 8506 Kauai Dr. to construct an addition to an existing residence.

- Comprehensive Development Plan
  - The Sarpy County Development Structure Plan indicates this area as Greenway.
- Zoning
  - The existing zoning is RD-50.
  - The existing residence is non-conforming because the lowest floor elevation is below the base flood elevation. The addition is to enlarge the existing garage to incorporate a main level laundry, remodel the kitchen, repair the existing decks and relocate deck stairs and landing.
  - The proposed new construction and renovation is in conformance with the regulations and at least one foot above the base flood elevation. The cost of the renovation, with labor, is \$60,000.
  - The assessed value of the existing structure is \$123,501. The cost of construction is less than 50% of the market value of the structure. Due to this, the addition is not a "substantial improvement" and does not require the entire structure to be brought into conformance with the floodplain regulations. Any additional improvements are subject to the non-conforming statutes which are cumulatively valued over time.
  - The non-conforming statute allows renovations and/or additions up to 50% of the market value of the structure, provided that all new construction is in conformance with the floodplain regulations.
  - The accessory building does not exceed the maximum 40% lot coverage.
  - The request meets the Sarpy County Flood Plain regulations.
  - The existing structure appears to have a non-conforming front yard setback. The minimum front yard setback is 25'. The proposed addition will be at least 25' setback from the front property line. The addition meets the required minimum setbacks of the Sarpy County Zoning Regulations.
- Natural Resources
  - The Natural Resources District has no objection to the request, provided that the addition is not considered a substantial improvement. Their comments are attached.
- Recommendation
  - For the reasons stated above I recommend approval to the flood plain development permit to construct an addition on Lot 40, Hawaiian Village, located in the NE ¼ of Section 27, T13N, R12E, generally known as 8506 Kauai Drive.

Respectfully submitted by:



Rebecca Horner, AICP  
Planning Director

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expires March 31, 2012

Important: Read the instructions on pages 1-9.

SECTION A - PROPERTY INFORMATION			For Insurance Company Use:
A1. Building Owner's Name <u>CINDI L. VAN HOUSEN</u>		Policy Number	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>8506 KAUAI DRIVE</u>		Company NAIC Number	
City <u>PAPILLION</u>	State <u>NE</u>	ZIP Code <u>68046</u>	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <u>LOT 40 HAWAIIAN VILLAGE, SARPY CO. NE. PARCEL NUMBER 010435859</u>			
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>			
A5. Latitude/Longitude: Lat. <u>N. 41° 04' 14.7"</u> Long. <u>W. 96° 02' 41.8"</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983			
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.			
A7. Building Diagram Number <u>7</u>			
A8. For a building with a crawlspace or enclosure(s):		A9. For a building with an attached garage:	
a) Square footage of crawlspace or enclosure(s) <u>1078.0</u> sq ft	a) Square footage of attached garage <u>430.0</u> sq ft		
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>	b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>		
c) Total net area of flood openings in A8.b <u>0</u> sq in	c) Total net area of flood openings in A9.b <u>0</u> sq in		
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No	d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No		

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number <u>SARPY COUNTY - 310190</u>		B2. County Name <u>SARPY AREA</u>		B3. State <u>NE</u>	
B4. Map/Panel Number <u>31153C0200</u>	B5. Suffix <u>G</u>	B6. FIRM Index Date <u>12/02/05</u>	B7. FIRM Panel Effective/Revised Date <u>12/02/05</u>	B8. Flood Zone(s) <u>AE</u>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <u>995.4</u>
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1. Building elevations are based on: <input checked="" type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.	
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE. Benchmark Utilized <u>LOCAL 348 DIVISION DATUM</u> Vertical Datum <u>NGVD 1929</u> Conversion/Comments <u>NGVD - VERTICAL TO NAVD 1988 DATUM</u>	
Check the measurement used.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor) <u>988.2</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
b) Top of the next higher floor <u>996.7</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
c) Bottom of the lowest horizontal structural member (V Zones only) _____ feet <input type="checkbox"/> meters (Puerto Rico only)	
d) Attached garage (top of slab) <u>995.6</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) <u>988.2</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
f) Lowest adjacent (finished) grade next to building (LAG) <u>988.1</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
g) Highest adjacent (finished) grade next to building (HAG) <u>995.6</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support <u>987.7</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION	
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.	
<input checked="" type="checkbox"/> Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Certifier's Name <u>GARY L. SIEDSCHLAG</u>	License Number <u>NEBRASKA L.S. 517</u>
Title <u>REGISTERED LAND SURVEYOR</u>	Company Name <u>GLS SURVEYING, INC.</u>
Address <u>1618 SHAMPAK BLVD</u>	City <u>YUTAN</u>
State <u>NE</u>	ZIP Code <u>68073</u>
Signature <u>Gary L. Siedschlag</u>	Date <u>05/18/10</u>
Telephone <u>(402) 625-2692</u>	



<b>IMPORTANT: In these spaces, copy corresponding information from Section A.</b>			For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>8506 KAUAI DRIVE</u>			Policy Number
City <u>PAPILLION</u>	State <u>NE.</u>	ZIP Code <u>68046</u>	Company NAIC Number

**SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)**

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments  
REAR DECK ELEVATION = (996.7) FRONT DECK ELEVATION = (997.3)  
EQUIPMENT SERVICING THE BUILDING (1) HOT WATER HEATER, FURNACE  
and WATER SOFTNER = (988.2) (2) A.C. UNIT = (996.2)

Signature David R. Niedich Date 05/18/10  Check here if attachments

**SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).  
 a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.  
 b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge.*

Property Owner's or Owner's Authorized Representative's Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ ZIP Code \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_ Telephone \_\_\_\_\_

Comments \_\_\_\_\_

Check here if attachments

**SECTION G - COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
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- G7. This permit has been issued for:  New Construction  Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_
- G10. Community's design flood elevation \_\_\_\_\_  feet  meters (PR) Datum \_\_\_\_\_

Local Official's Name \_\_\_\_\_ Title \_\_\_\_\_

Community Name \_\_\_\_\_ Telephone \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Comments \_\_\_\_\_

Check here if attachments

June 20, 2010

Ms. Rebecca Horner  
Sarpy County Planning Department  
1210 Golden Gate Drive  
Papillion, Nebraska 68046



RE: 8506 Kauai Circle – Application for Floodplain Development Permit

Dear Ms. Horner:

The District received information for the proposed improvements to an existing residence on Lot 40 in Hawaiian Village at 8506 Kauai Circle in Papillion, Nebraska. According to the Flood Insurance Rate Map for Sarpy County, Panel 31153C 0200G, dated December 2, 2005, the lot is located in the Zone AE floodplain of the Platte River. The base flood elevation (BFE) determined at this location is 995.4 feet (NAVD 1988).

The District has the following comments based on a review of an elevation certificate prepared by Gary L. Siedschlag, R.L.S. on May 18, 2010:

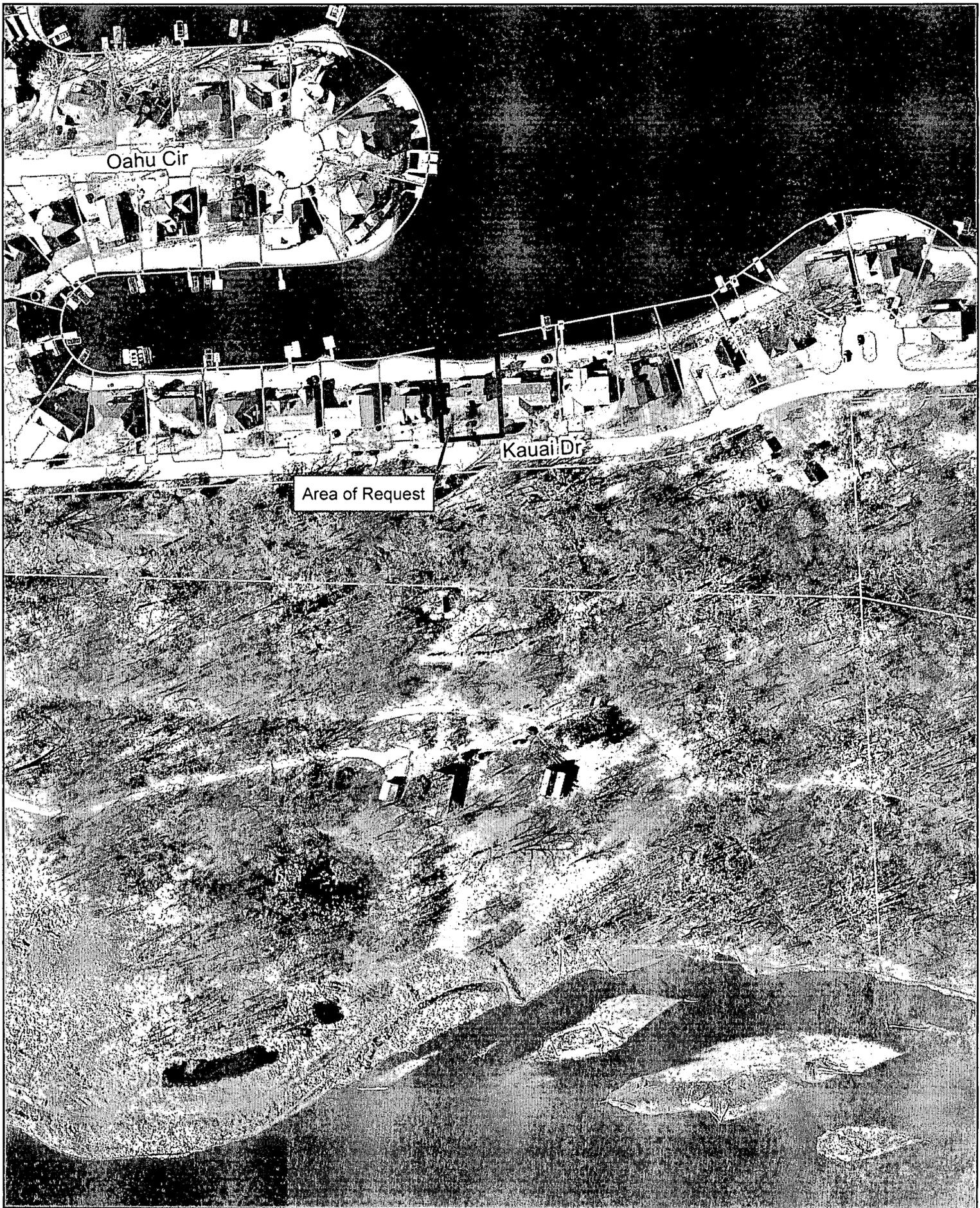
- As stated in the application form, the improvements to the existing residence include enlarging the exiting garage to accommodate a main level laundry room, remodeling the existing kitchen, as well as repairs to the rear deck and replacement of the front deck. A determination should be made as to whether the proposed improvements qualify as a substantial improvement (i.e. cost of repairs exceeds fifty percent of the market value of the structure). If it is determined to be a substantial improvement, the entire structure must comply with all current Sarpy County floodplain development standards.
- The elevation certificate shows the finished floor elevation of the existing garage to be 995.6 ft, which is not one foot above the BFE. Any additions to the garage must be at least one foot above the BFE. Any utility equipment servicing the residence must also be at least one foot above the BFE.
- The elevation certificate shows the finished floor of the main level, where the kitchen is located, to be 996.7 which is at least one foot above the BFE.

If you have any questions you may contact me at 444-6222 or [llaster@papionrd.org](mailto:llaster@papionrd.org),

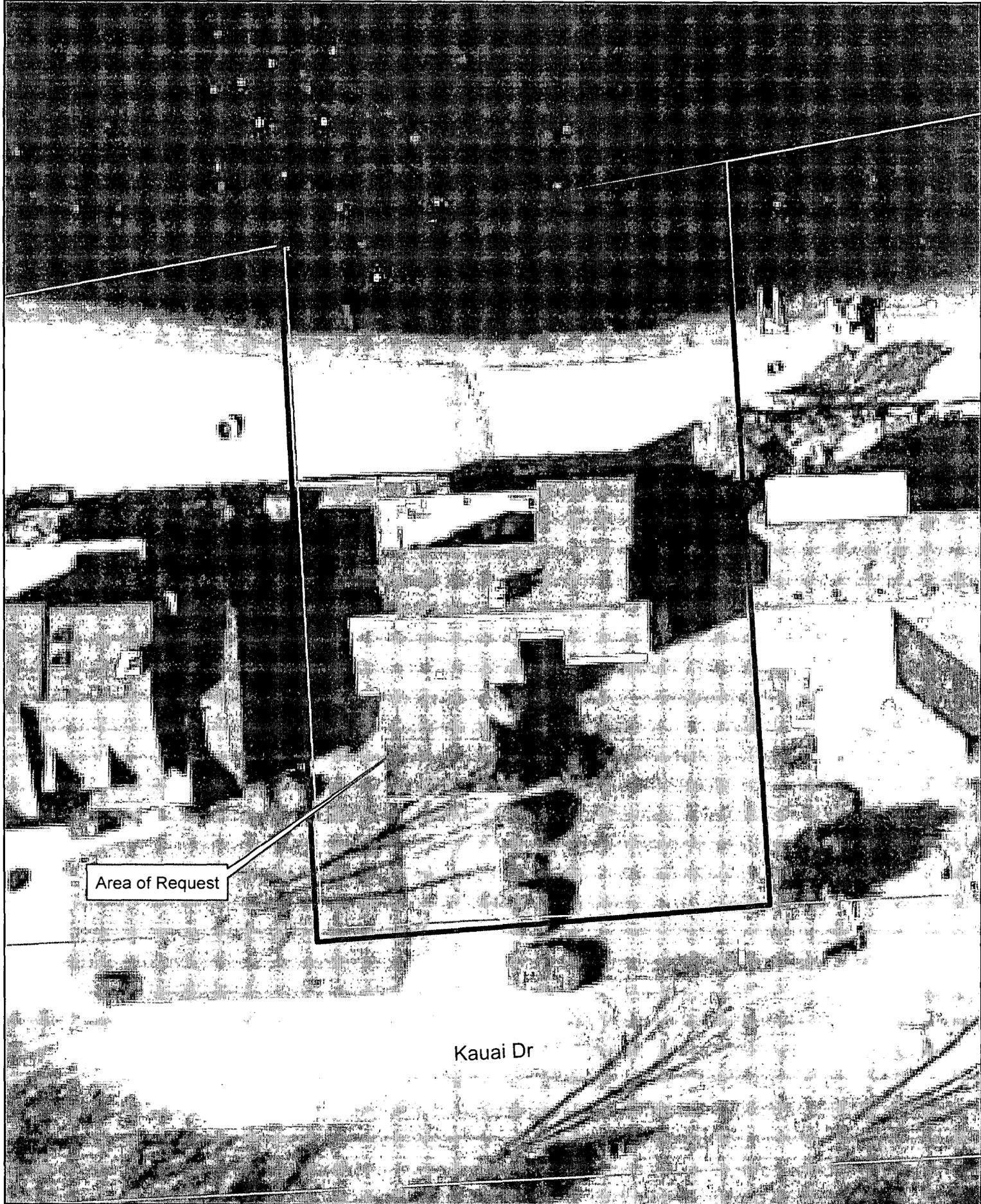
Sincerely,

Lori Ann Laster, CFM  
Stormwater Management Engineer

Cc: Marlin Petermann, P-MRNRD



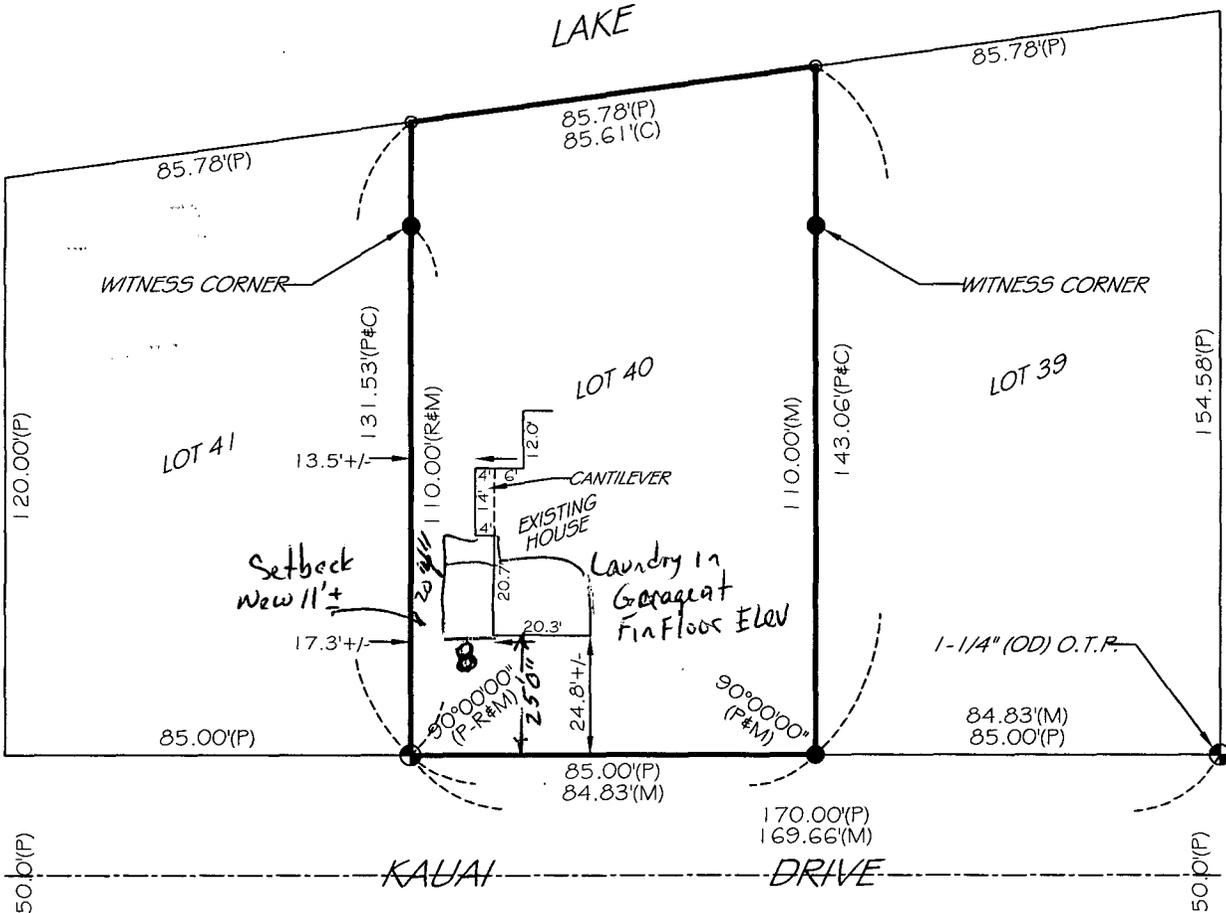
Floodplain Development Permit  
8506 Kauai Drive



Floodplain Development Permit  
8506 Kauai Drive

# LAND SURVEYOR'S CERTIFICATE

**LOT 40, HAWAIIAN VILLAGE, A SUBDIVISION AS SURVEYED, PLATTED AND RECORDED IN SARPY COUNTY, NEBRASKA.**

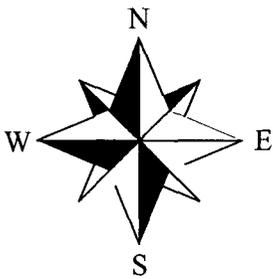
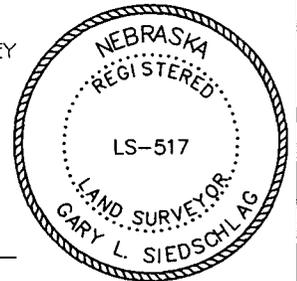


**LEGAL DESCRIPTION:**

LOT 40, HAWAIIAN VILLAGE, A SUBDIVISION AS SURVEYED, PLATTED AND RECORDED IN SARPY COUNTY, NEBRASKA.

**SURVEYOR'S CERTIFICATE:**

I, GARY L. SIEDSCHLAG, HEREBY CERTIFY THAT THIS PLAT OF A SURVEY WAS MADE BY ME OR UNDER MY SUPERVISION AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE, AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEBRASKA.



CLIENT NAME: D&E CUSTOM BUILDING & DESIGN INC.
PROJECT NUMBER: SU-1949
DATE: MARCH 05, 2010
FIELD BOOK: SARPY COUNTY #3
SCALE: 1" = 40'
REVISION DATE:
SHEET: 1 OF 1

*Gary L. Siedschlag*  
GARY L. SIEDSCHLAG, RLS 517 DATE 03/05/10

**LEGEND**

	MONUMENT FOUND (1-1/4" C.T.P., UNLESS NOTED OTHERWISE)
	MONUMENT SET (5/8" X 24" REBARS, WITH A PLASTIC CAP L.S. 517 UNLESS NOTED OTHERWISE)
	TEMPORARY POINT
	C.T.P. CRIMPED TOP PIPE
	O.T.P. OPEN TOP PIPE
	C COMPUTED DISTANCE
	D DEEDED DISTANCE
	M MEASURED DISTANCE
	P PLATTED DISTANCE
	R RECORDED DISTANCE

NOTE: ALL BEARINGS ARE ASSUMED

**GLS SURVEYING  
INC.**

**1618 SHAMROCK BLVD.  
YUTAN, NE 68073  
OFFICE: (402) 625-2692  
CELL: (402) 618-9133**

# **ADDITIONAL INFORMATION**

**SARPY COUNTY BOARD OF COMMISSIONERS**

**JULY 13, 2010**

**FLOOD PLAIN DEVELOPMENT PERMIT**

**Lot 40, Hawaiian Village**

**Home Addition**



# SARPY COUNTY PLANNING

MAY 20 2010

• 1210 GOLDEN GATE DRIVE PAPIILLION, NE 68046  
• PHONE: 402-593-1555 • FAX: 402-593-1558 • E-MAIL: [PLANNING@SARPY.COM](mailto:PLANNING@SARPY.COM)

SARPY COUNTY  
PLANNING DEPARTMENT

## FLOOD PLAIN DEVELOPMENT PERMIT APPLICATION

In order for your application to be considered **COMPLETE**, please answer all applicable questions and provide the following:

1. Submit complete Flood Plain Development Permit Application
2. Submit Non-Refundable Fee of \$100.00 made payable to Sarpy County Treasurer
3. 2 full size site/construction plan drawing
4. 6 reduced size site/construction plan drawings (8.5 x 11)
5. A Construction Drawing Elevation Certificate (From registered professional engineer or architect.)

### PLANNING STAFF USE ONLY:

APPLICATION NO.: \_\_\_\_\_  
 DATE RECEIVED: \_\_\_\_\_  
 CP DESIGNATION: \_\_\_\_\_  
 ZONING DESIGNATION: \_\_\_\_\_  
 FEE: \$ \_\_\_\_\_ RECEIPT NO. \_\_\_\_\_  
 RECEIVED BY: \_\_\_\_\_  
 NOTES: \_\_\_\_\_

### PROPERTY OWNER INFORMATION: (If multiple owners, attach separate sheet)

Please check box if attaching separate sheet with owner information.

NAME: Cindi Van Housen

E-MAIL: C.Vanhousen@OPPD.com

ADDRESS: 8506 Kauai Circle

CITY/STATE/ZIP: Pepillion NE 68046

MAILING (IF DIFFERENT)

ADDRESS: \_\_\_\_\_

CITY/STATE/ZIP: \_\_\_\_\_

PHONE: (402) 933-2479

FAX: (cell) (402) 677-7770

### ENGINEER INFORMATION:

NAME: \_\_\_\_\_

E-MAIL: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY/STATE/ZIP: \_\_\_\_\_

MAILING (IF DIFFERENT)

ADDRESS: \_\_\_\_\_

CITY/STATE/ZIP: \_\_\_\_\_

PHONE: \_\_\_\_\_

FAX: \_\_\_\_\_

### CONSTRUCTION INFORMATION: This individual/company is responsible for meeting construction standards.

NAME: D&E Custom Bldg & Design Inc

E-MAIL: decustom@MICROLAK.com

ADDRESS: PO Box 777

CITY/STATE/ZIP: Gretta, NE 68028

PHONE: 402 505 1045

FAX: 402 253 2272

Dennis Milroy

**PROPOSED DEVELOPMENT INFORMATION:** (Describe the project in detail, including physical features of the site, proposed improvements, proposed uses or business, operating hours, number of employees, anticipated customers, etc. – Attach additional sheets if necessary.) **PLEASE NOTE:** A detailed project description is essential to the reviewing process of this request.

Enlarge Garage to incorporate main level Laundry, remodel Kitchen, Repair existing rear deck, replace front deck, Relocate rear deck stairs & Landing

**PROJECT SITE INFORMATION:** Complete each section in its entirety. If a question is not applicable to your project, please indicate this to show that each question has been carefully considered.

PROPERTY ADDRESS: 8506 Kauai Drive  
ASSESSORS PARCEL NUMBER(S) LOT 40 Parcel # 010435859  
SUB DIVISION: Hawaiian Village LOT: LOT 40  
NAME OF WATERWAY: Platte River  
PROPERTY LIES WITHIN: FLOODWAY: \_\_\_\_\_ FLOOD FRINGE: X  
LOWEST FLOOR ELEVATION IS TO BE Existing 996.7 FEET ABOVE MEAN SEA LEVEL. (Including Basement)

**LEGAL DESCRIPTION:** (Describe property to wit:)

Lot 40, Hawaiian Village, A subdivision as surveyed, platted & recorded in Sarpy County, Nebraska

**ADDITIONAL INFORMATION:** Please use this space to provide any other information you feel is appropriate for the County to consider during review of your application. Attach extra sheets if necessary.

**PLEASE NOTE THE FOLLOWING PROCEDURES:**

1. County Board will hold a public hearing and make a final decision on the Flood Plain Development Permit.
2. After the Flood Plain Permit Approval please provide a signed resolution to the Building Department to begin the Building Permit Process. **PLEASE NOTE** prior to the final inspection a Finished Construction Elevation Certificate will be required by the Building Department.

I, the undersigned, understand a sign will be posted on my property and will remain until the public hearing process at the Planning Commission and County Board is complete. I further understand the Special Use Permit process as stated above and I authorize County Staff to enter the property for inspection related to the specific request during this process.

[Signature]  
Owner Signature (or authorized agent)

4-1-10  
Date

\_\_\_\_\_  
Owner Signature (or authorized agent)

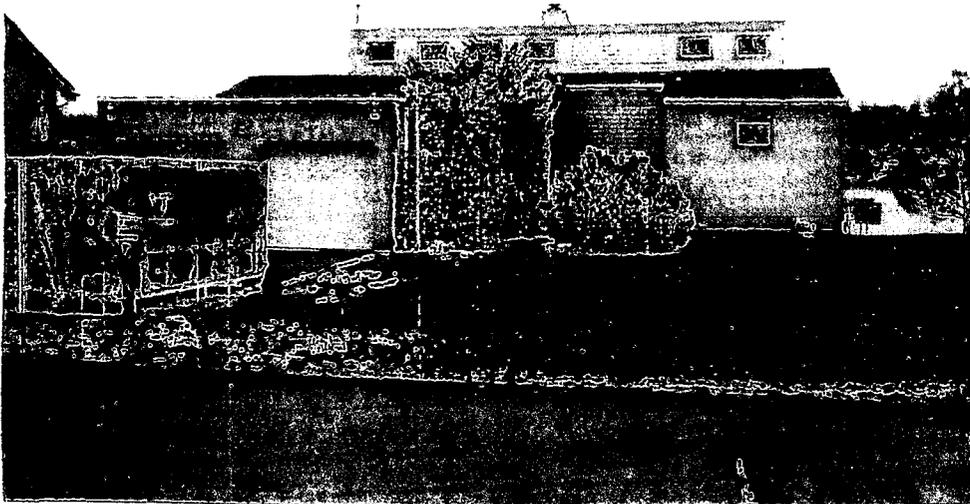
\_\_\_\_\_  
Date

# Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.			For Insurance Company Use:
8506 KAWAI DRIVE			Policy Number
City	State	ZIP Code	Company NAIC Number
PAPILLION	NE	68046	

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse.



"FRONT VIEW"



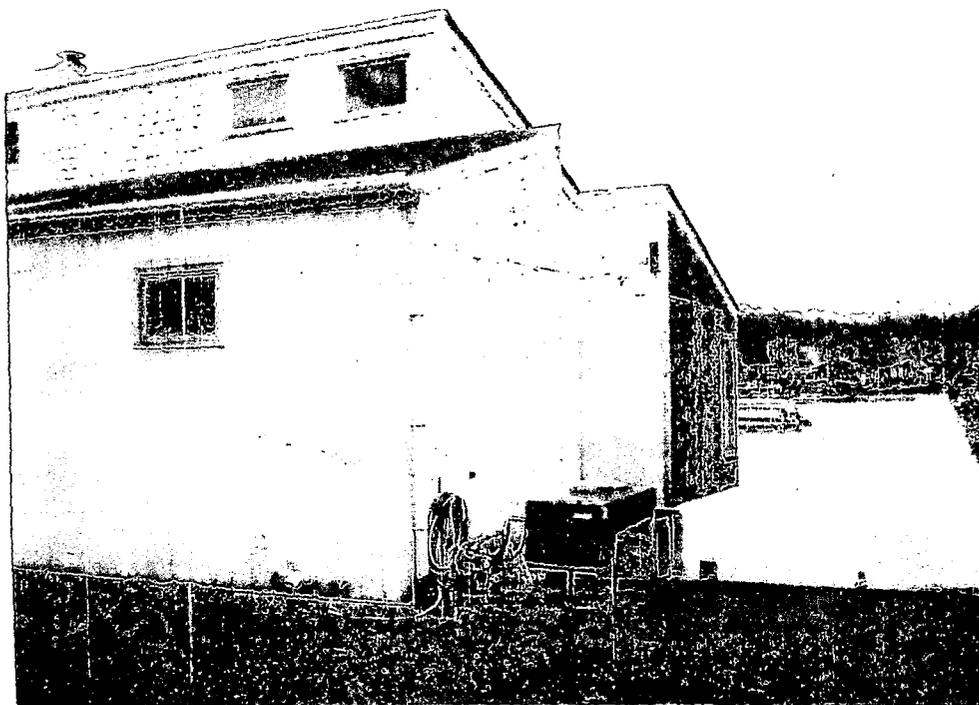
"REAR VIEW"

# Building Photographs

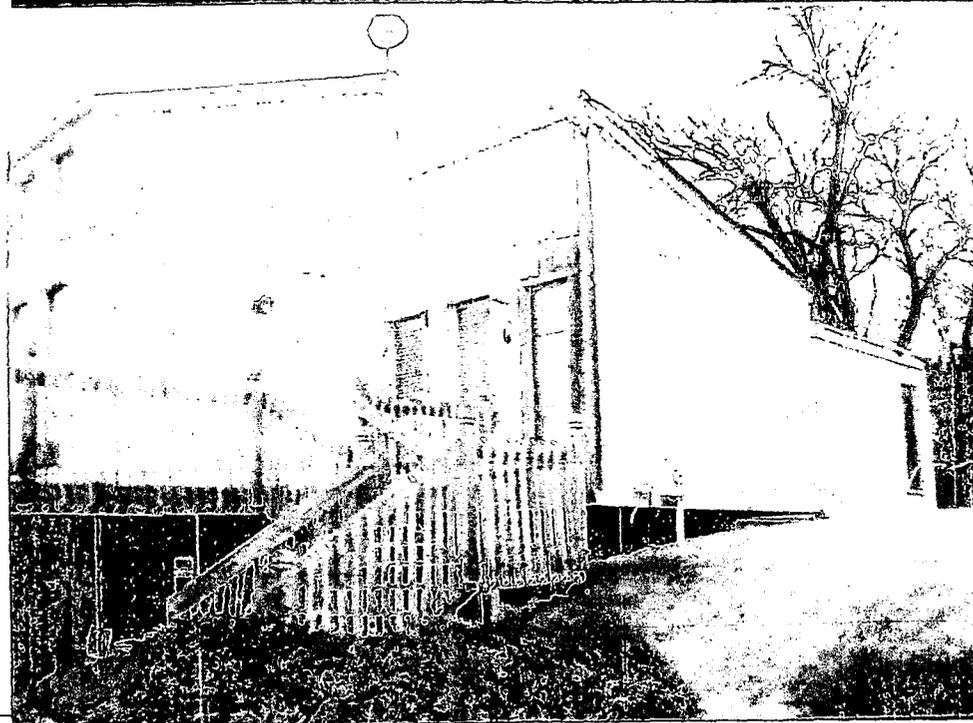
Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <i>8506 KAWAI DRIVE</i>			For Insurance Company Use: Policy Number
City <i>PAPILLION</i>	State <i>NE.</i>	ZIP Code <i>68046</i>	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."

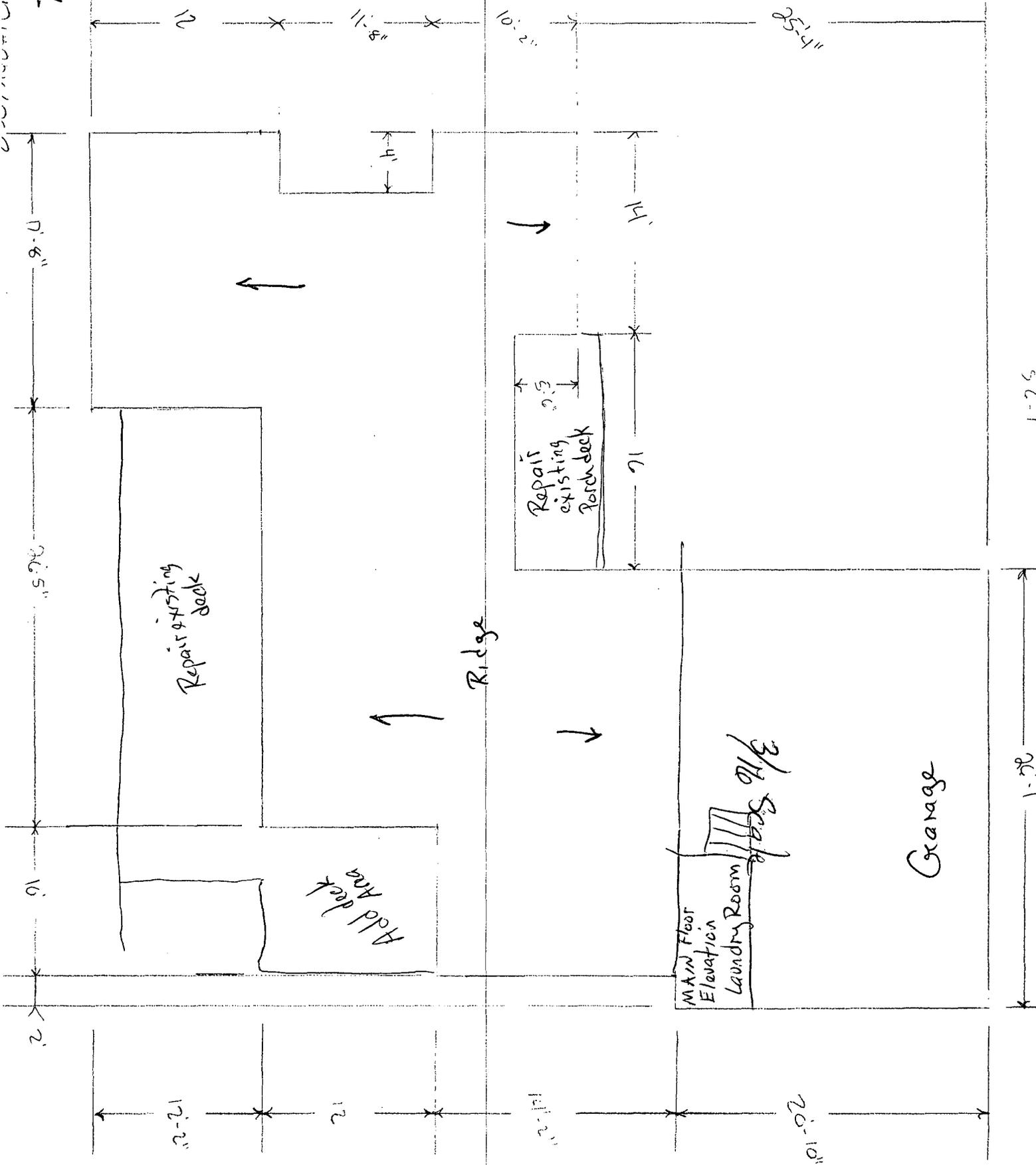


*"RIGHT SIDE VIEW"*



*"LEFT SIDE VIEW"*

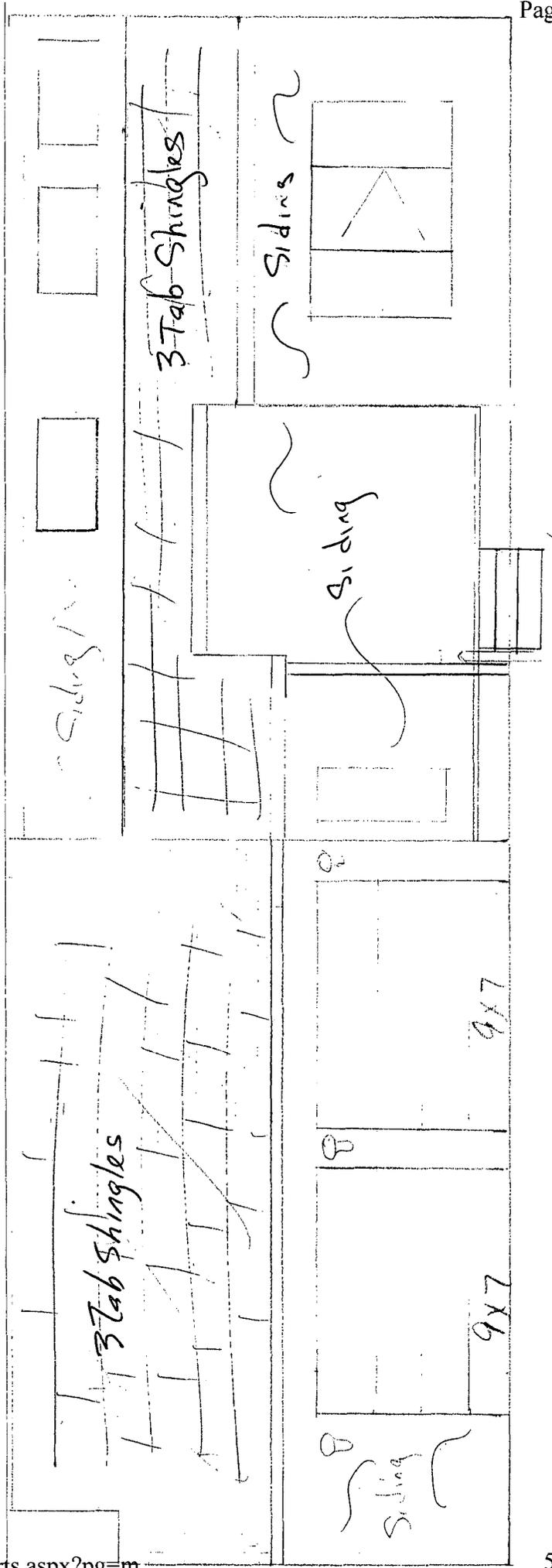
21009361



8504 Kawai'i  
21009361

Front Elevation  
South Face

(cont)

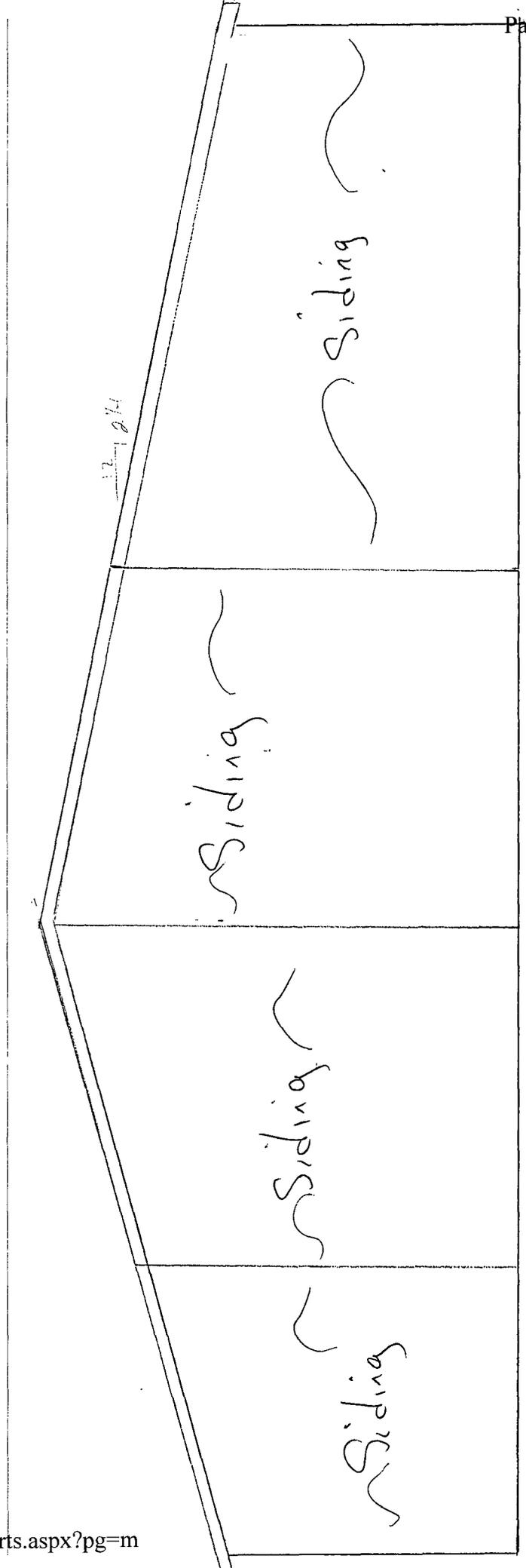


5504 Kawai Cr  
21009361

West Elevation

west side

66



# D&E Custom Building and Design

PO BOX 777, GRETNA NE 68028

505-1045 690-3735

## ESTIMATE

October 25, 2009

Cindi Van Housen  
8506 Kauai Cr  
Papillion NE 68046  
677-7770 Fax 636.2059

WORK ESTIMATED: Detail and explanation of material specifications per item and dollar amount

### Item 1

Install 24x24 footing and structural column at northwest corner of house \$500.00

### Item 2

Add fill dirt and slope dirt away from front entry and drive. Remove trees and shrubs, stumps at front of house and beside driveway. \$800.00

### Item 3

Extend garage width 6' – 8' to the west.

Pour added interior slab

Reframe roof over garage and extend to lower all flat roof areas attached to garage

Area at northwest corner of garage will be elevated to match the interior flat height and ceiling height

Walls and ceiling of laundry area insulated

Entry door from garage to and laundry to living area

Driveway and sidewalk to front entry door to be replaced

Install 2 new white insulated 9x7 garage doors

Demo existing front deck and replace with concrete patio and wooden steps

Raise electrical and phone box at entry if necessary

Install 2 coach lights at garage and 1 at front entry

Add electrical outlets and lights in garage and laundry room

Re-install existing garage doors

Install vinyl siding to match house \$30,000.00

### Item 4

Install all vinyl white Window Tec or equivalent windows and 2 vinyl patio doors

Install windows as existing in existing locations

Install 3 wide window in front bedroom

Re-use casing if possible on main level or replace as necessary

Basement windows have no existing interior finish

Remove patio door from master bedroom and close-up wall

Install light by patio doors and at new dinette entry door to walk \$11,200.00

Item 5

Replace existing siding where necessary with plywood to secure house and allow backing for vinyl

Install House wrap on entire house

Install vinyl siding on entire house /double 5" lap siding

Install Metal fascia and vinyl soffit

Install new gutter and downspout on all locations \$10,000.00

Item 7

Deck floor to be replaced and all joists inspected and replaced as necessary

Stairs to be replaced

Handrails to be re-built to code

All material to be CCA Treated lumber

Install entry door in place of west deck window \$7500.00

Permits and fees included

All debris disposed of offsite

Material and Labor as described above \$60,000.00

No work in basement included (except where noted ie. Door and windows)

No flooring included

Exterior graded for homeowner to landscape and seed

No paint, interior caulking, stain included.

Thank you for allowing us to estimate your work. We appreciate the opportunity you have given us and look forward to hearing from you upon making your decision.

BSMT OUTSIDE ENTRY	1
WOOD DECK	95
OPEN SLAB PORCH	535
DRIVEWAY	1
ROOF ONLY	95
DECK,WOOD	16
WALL,RETAINING~BLOCK	127

Sales Information (Updated 6/30/2010)				
Sale Date B & P	Grantor	Grantee	Total Sale Price	Adjusted Sale Price
1/14/2010 2010-01365	JACOBS/MARY 8506 KAUAI DR PAPILLION NE 68046-0000	VAN HOUSEN/CINDI L TRUSTEE LIVING TRUST 8506 KAUAI DR PAPILLION NE 68046-	\$160,500	\$160,500

Valuation Information					
Valuation PV = Partial Valuation					
Roll Year	Land Value	Impr Value	Outbuildings	Total Value	PV
2010	\$90,000	\$123,501	\$0	\$213,501	NO
2009	\$90,000	\$126,270	\$0	\$216,270	NO
2008	\$90,000	\$143,315	\$0	\$233,315	NO
2007	\$90,000	\$143,197	\$0	\$233,197	NO
2006	\$75,000	\$162,213	\$0	\$237,213	NO
2005	\$75,000	\$146,429	\$0	\$221,429	NO
2004	\$75,000	\$131,256	\$0	\$206,256	NO
2003	\$60,000	\$124,644	\$0	\$184,644	NO
2002	\$45,000	\$110,946	\$0	\$155,946	NO
2001	\$45,000	\$98,966	\$0	\$143,966	NO
2000	\$43,650	\$97,107	\$0	\$140,757	NO
1999	\$33,600	\$99,681	\$0	\$133,281	NO
1998	\$32,900	\$88,467	\$0	\$121,367	NO
1997	\$107,518			\$107,518	NO
1996	\$105,278			\$105,278	NO
1995	\$95,605			\$95,605	NO
1994	\$87,958			\$87,958	NO
1993	\$85,661			\$85,661	NO
1992	\$95,264			\$95,264	NO
1991	\$67,410			\$67,410	NO
1990	\$67,410			\$67,410	NO
1989	\$67,410			\$67,410	NO
1988	\$65,512			\$65,512	NO

Levy Information		
View Past Levy Information		
Fund	Description	Levy
1	COUNTY LEVY	0.2999
146	SOUTH SARPY SCHOOL	0.046275
147	SOUTH SARPY-BOND	0.033611
148	SO SARPY SPEC BUILD	0.043085
199	LEARNING COMM-GENERAL	0.95
200	LEARNING COMM-BLDG	0.01
201	LEARNING COMM-CAPITAL~PROJECTS	0.005
305	PAPILLION RURAL FIRE	0.110092
313	PAPILLION FIRE BOND	0.025021
501	PAPIO NATURAL RESRCE	0.032756
801	METRO COMMUNITY COLL	0.085
901	AGRICULTURAL SOCIETY	0.001111
1003	ED SERVICE UNIT 3	0.01618
2097	SID 97	0.283526
2397	SID 97 BOND	0.239995
	Total Levy 2009	2.181552